



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, February 15, 2022  
Immediately Following the 7:00pm City Council Meeting  
CITY HALL**

- 1. Meeting Opening**
  - A. Call to Order
  - B. Pledge of Allegiance
  - C. Roll Call
  - D. Agenda Modifications
  
- 2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8**
  - A. Election of 2021 Chair
  - B. Election of 2021 Vice-Chair
  - C. Election of 2021 Secretary
  - D. Approval of Meeting Dates
  
- 3. Meeting Minutes**
  - A. Approval of Minutes from December 21, 2021 Planning Commission Meeting
  
- 4. Public Hearing**
  - A. Request by Kassondra Buzzell for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd. 4, said request is for a commercial building with a drive-thru located at PID 16.126.0070.
  
- 5. Other Business**
  
- 6. Discussion Item**
  
- 7. Adjournment**

## 2022 Planning Commission Public Hearing Deadlines and Dates

The City Planning Commission shall hold regular meetings immediately following the 7:00 p.m. City Council Meeting on the 3<sup>rd</sup> Tuesday of every month at Isanti City Hall. All meetings are held at Isanti City Hall at 110 1<sup>st</sup> Avenue NW, Isanti, MN 55040 in the City Council Chambers. The 2022 scheduled meeting dates and deadlines are below\*:

<b>Meeting Date</b>	<b>Deadline for Submission</b>	<b>Public Hearing Deadline</b>	<b>PH Publication Date</b>
<b>January 18th</b>	December 23rd	December 31st	January 6th
<b>February 15th</b>	January 21st	January 28th	February 3rd
<b>March 15th</b>	February 18th	February 25th	March 3rd
<b>April 19th</b>	March 25th	April 1st	April 7th
<b>May 17th</b>	April 22nd	April 29th	May 5th
<b>June 21st</b>	May 27th	June 3 <sup>rd</sup>	June 9th
<b>July 19th</b>	June 24th	July 1st	July 7th
<b>August 16th</b>	July 22nd	July 29th	August 4th
<b>September 20th</b>	August 26th	September 2nd	September 8th
<b>October 18th</b>	September 23rd	September 30th	October 6th
<b>November 15th</b>	October 21st	October 28th	November 3rd
<b>December 20th</b>	November 23rd	December 2nd	December 8th
<b>January 17th</b>	December 23rd	December 30th	January 5th

\*Subject to change

Mail Public Hearing notices within 350' of the subject site

January 18<sup>th</sup> meeting mail out January 7th  
 February 15<sup>th</sup> meeting mail out February 4th  
 March 15<sup>th</sup> meeting mail out March 4th  
 April 19<sup>th</sup> meeting mail out April 8th  
 May 17<sup>th</sup> meeting mail out May 6th  
 June 21<sup>st</sup> meeting mail out June 10th  
 July 19<sup>th</sup> meeting mail out July 8th  
 August 16<sup>th</sup> meeting mail out August 5th  
 September 20<sup>th</sup> meeting mail out September 9th  
 October 18<sup>th</sup> meeting mail out October 7th  
 November 15<sup>th</sup> meeting mail out November 4th  
 December 20<sup>th</sup> meeting mail out December 9th

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, December 21, 2021

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:40 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison.  
Members Absent: Arissya Simon, Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 5-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the November 16, 2021 Planning Commission Meeting motion by Lundeen, second by Bergley motion passes 5-0.

#### 3. Public Hearing

- A. Request by New Hope Community Church for approval of a Conditional Use Permit under City Ordinance 445 Section 21, Article 2, said request is to allow a Religious Institution on PID 05.029.1900 in the R-1 Tier 1 Zoning District.

Saltis presented the request for a Conditional Use Permit for a religious institution to be located on a vacant parcel in the R-1 Tier 1 Zoning District. It was explained that this parcel is roughly 40 acres in size with a majority of this area consisting of wetlands and has frontage along Highway 65. Applicants from New Hope Community Church were present at the meeting and available for questions from the Planning Commission. Mayor Johnson asked the applicants if they are planning to keep the existing New Hope Church or if they would move to the proposed location. The applicant said that they would like to move all of their operations to this new facility and location. The public hearing opened and a letter was read to the Planning Commission members from a surrounding property owner, Diana Patraw who resides at 28598 Chisholm St NE. The letter voiced concerns of having the church be located near the wetland, and that the development of a church on the parcel will disrupt wildlife and the natural beauty of the area. Planning Commission members discussed the location of the church on the parcel in relation to the nearby residences on Chisholm St NE. It was determined that the church would be on the opposite side of

the wetland and would have minimal impact on the surrounding residential properties and that the church will be directly surrounding only commercial businesses and Highway 65. The wetland and natural area of the Sroga Slough will be in between the proposed church and residential properties acting as a natural buffer. There were no other comments from residents and the public hearing closed. Motion for approval of the Conditional Use Permit to allow a religious institution on PID 05.029.1900 within the R-1 Tier 1 Zoning District by Bergley, second by Lundeen, motion passed 5-0.

**B. Request by Sportsmen Specialties for a Conditional Use Permit Amendment under City Ordinance 445 Section 21, Article 2, Subdivision 5, said request is for site modifications for an auto sales lot located at 305 Main St E.**

Community Development Director Hillesheim explained the request for a Conditional Use Permit Amendment to modify the original CUP for an auto sales lot at 305 Main St E. The original Conditional Use Permit allowed for 5 parking spaces for auto sales at this location, the applicant has requested that this would be intensified for 8 to 12 cars allowed on site. The location of the original approved parking stalls was on the southeast corner of the site. The applicant would like to park cars on the north part of the parcel facing Main St E. Traffic and circulation around the site was discussed by Planning Commission Members, pointing out that the vehicles for sale on site would bring in added traffic at all hours and impact circulation for vehicles accessing the car wash lanes. There were two residents who showed up at the public hearing for comments on this item. Margaret Stringer of 305 Broadway St SE commented that she believes the current owners have made improvements over the past couple of years but is concerned that auto sales will bring more traffic to the site. Holly Cedarblade of 224 Broadway mentioned that she is also concerned with the traffic the auto sales lot could bring at all times of the day. She also mentioned that used auto sales lots end up being more than just parked cars, where they could be serviced outside which brings added noise and activity to the area. Planning Commission members asked staff what the conditions listed in the original CUP were regarding screening of residential properties. Staff said that the original CUP listed conditions about planting bushes and trees and also constructing a fence to soften the effects on neighboring residential uses. It was determined after discussion that there is a fence along the western property line to shield these residences but there isn't a buffer to shield the nearby residences to the south of the site. Mayor Johnson stated that he believes if the site is to allow the auto sales lot, that they should be required to construct a privacy fence along the south property line. Motion for approval to amend the CUP to allow for up to 8 cars on site and include a privacy fence along the south perimeter of the site by Bergley, second by Johnson, motion passed 4-1.

**5. Other Business:** None

**6. Discussion Items:** None

**7. Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Lundeen to adjourn, motion passed 5-0, meeting adjourned at 8:24 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: 2/15/2022

SUBJECT: Site Plan Review and CUP Approval for a Commercial building for Little North Boutique with a drive-thru located at 291 5<sup>th</sup> Ave NE

---

**Request:** The applicant, Kassondra Buzzell is requesting site plan and CUP approval for a proposed commercial building with a drive thru located at 291 5<sup>th</sup> Ave NE for Little North Boutique.

**Overview/Background:** The applicant would like to construct a commercial building on a 1.5-acre vacant lot located at the corner of 5<sup>th</sup> Ave NE and Cherrywood St NE. This parcel is currently zoned B-2 General Business in which a “General Retail Establishment” is a permitted use. This vacant lot is part of the Anlauf Commercial Park and will be able to use the existing stormwater pond to the west of the site for stormwater runoff.

The building is proposed to be 9,720 square feet and will consist of the Little North Boutique retail space, a connected ice cream shop, office space, storage rooms and 3 tenant spaces with separate mechanical rooms and restrooms. There is a proposed drive-thru on the east side of the building for one of the tenant spaces. An outdoor patio is proposed for use during seasons that would allow for customers of the ice cream shop to sit outside. The site is designed to accommodate nine cars in the drive-thru area, with a designated bypass lane running parallel to the drive-thru lane. A total of 54 parking stalls are displayed on the site plans, with three of these stalls designated as handicap accessible.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the B-2 General Business District:

**Lot Requirements**

- Lot Size 1 acre

*The area of the parcel is 67,200 square feet and roughly 1.5 acres in size.*

### **Setbacks and Height Restrictions – Principal Building**

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Street Side Yard Setback 20 feet
- Rear Yard Setback 15 feet
- Maximum Building Height 3 Stories or 45 ft, whichever is less

*The proposed building will be located on the south side of the lot and will meet all required setbacks. The building will have a second level for retail but will not exceed the 45 ft height requirement.*

### **Impervious Surface Coverage**

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter. (Ord. No. 618)

*The summary chart on the site plans displays an impervious surface amount proposed at 71%. The landscaping requirement of 25% of the total lot area as green space will be met for this development.*

### **Parking Lot Setbacks**

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from property lines.*

### **Parking Standards**

#### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

6,000 sq ft retail space: 1 space per 250 sf = 24 parking stalls

1,200 sq ft ice cream shop: 1 space for every 3 seats and 1 space for each employee on the peak shift = estimated around 12 parking stalls

*Based on this number of required parking spaces standard and the use of the commercial building, the site will be required at least 36 parking spaces in which two stalls would need to be designated as handicap accessible. The site plans indicate 54 parking stalls, in which three parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the development.*

Stall, Aisle and Driveway Design

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

**TABLE 9: Parking Lot and Parking Stall Dimensions**

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will follow the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths are proposed at 26 feet and meet the requirement for two-way vehicle circulation.*

Handicapped Parking Requirements

The number of handicapped parking stalls required shall be in accordance with the following table:

**TABLE 10: Required Number of Handicapped Parking Spaces**

Total Number of Parking Spaces in Lot	Required Minimum Number of Accessible Spaces
1 to 25	1
26 to 50	2
51 to 75	3

- A. Each designated handicapped space shall be eight (8) feet in width with an adjacent five (5) foot wide access aisle. Total space width of thirteen (13) feet.
- B. A designated van accessible space shall be eight (8) feet in width with an adjacent access aisle totaling eight (8) feet in width. Total space width of sixteen (16) feet.
- C. Designated handicapped spaces shall be provided along an accessible route located as near as possible to an accessible entrance.
- D. Each space shall contain signage with the international symbol of accessibility. Indicating that a permit is required and notifying of a two hundred (200) dollar maximum fine for violation.

*There are three designated handicapped stalls on site which are proposed at 9 ft in width and will have two 9 ft wide access aisles in between the two stalls. The handicap stalls are located near the building and will have an accessible sidewalk with a curb ramp in the front of the*

*building. There are not handicapped signs displayed on the plans, but will need to be installed as a condition of approval.*

### **Bicycle Parking**

*Bicycle parking is required for all new construction commercial developments in the city and is determined by the number of required car parking stalls. Since this site is required 54 parking stalls, the development will need 3 required bike parking spaces. The site plans do not indicate a location for bicycle racks. The location for bicycle racks shall follow the requirements set forth in Section 17, Subdivision 14 of the City's Zoning Ordinances.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas and drive-thru lanes are proposed to be surfaced with standard duty asphalt. Drive aprons around the site entrances, sidewalks and the outdoor seating patio will be surfaced with concrete.*

### **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

#### **Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
  1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
    - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
    - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.

2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*A photometrics plan was submitted with foot candle readings on the site. Based on the foot candle readings on the photometrics plan these light sources will meet all criteria listed in Section 14 of the City Zoning Ordinance. Two downlit light poles are proposed to be placed in each island around the parking areas and wall sconce lighting is proposed on the exterior of the building. The trash enclosure must be illuminated for the safety of employees.*

### **Visibility**

No sign shall be so located as to restrict the sight, orderly operation, and traffic movement within any parking area.

*There is a proposed sign near the curb cut on Cherrywood St NE that is shown to be setback over 20 feet from the roadway. It is not expected that this will restrict visibility of traffic entering or exiting the site.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around all parking areas and the drive-thru/service area lanes. Any modifications needed to the curbing will be addressed in the City Engineer's report dated 2/7/2022.*

## **Striping**

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) wide.

*Four-inch-wide white striping shall be used across the site for designated parking stalls.*

## **Curb Cuts**

*The curb cut proposed along Cherrywood St NE is proposed at 28 feet in width and the curb cut along 5<sup>th</sup> Ave NE is proposed at 24 ft in width. These comply with City Standards.*

## **Exterior Building Materials**

These standards are intended to ensure coordinated design of building exteriors, additions and accessory structure exteriors in order to prevent visual disharmony, minimize adverse impacts on adjacent properties from buildings which are or may become unsightly, and buildings that detract from the character and appearance of the area. It is not the intent of this division of unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, and site characteristics.

A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:

1. Face brick.
2. Natural stone.
3. Glass.
4. Decorative concrete block as approved by the City Council.
5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
6. Masonry stucco.
7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
8. No more than 75% of the building sides visible from Highway 65 may be constructed of decorative concrete block, pre-cast concrete or stucco.
9. The exterior of the building shall have varied and interesting detailing. Large unadorned walls shall be prohibited (50' or more). All large walls viewable from Highway 65 must be relieved by architectural detailing, such as change in materials, change in color, offsets, or other significant visual relief provided in a manner or at intervals in keeping with the size, mass and scale of the wall and its views from the public right-of-way.

10. Exterior building material colors shall be complimentary of other buildings within the district.
11. Exterior elevations of all sides of a proposed building noting the material and color of each component, to include exterior building materials, awnings, mechanical screening material, fencing and the like, shall be submitted with the site plan for determination of compliance with the above requirements.
12. Mechanical equipment
  - a. Ground equipment shall be screened per Section 14, Subdivision 4 Mechanical Equipment.
  - b. Rooftop mechanical equipment, and head-houses for elevators and stairs, shall be concealed from public view.

B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

*Exterior building materials include board & batten siding around building entrances, horizontal smart siding around the majority of the building, boulder creek stone, and black asphalt shingles for the roof. Siding color will vary across the frontage of the building between a snowscape white and abyss black. The boulder creek stones will be a dark gray color around the wainscoting of the tenant spaces and in the center of the building frontage. The exterior of the building has varied detailing with materials and colors and will be visually appealing in this commercial district.*

### **Screening, and Landscaping**

A. Fencing and Screening. Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*There are no loading and service areas displayed on site plans. A building of this size does not require a designated loading area.*

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

*The site does not abut a residential area.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*The refuse and garbage receptacles will have surrounding landscaping of deciduous shrubs for screening. The receptacles shall be completely enclosed with similar architecture to the principal building.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*The site does not surround a residential area.*

- B. **Landscaping.** The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

*The landscaping plan proposes to include 13 trees on site with a majority of these trees lining the perimeter of the site. Trees are also proposed within the interior islands of the parking areas. The City Landscaping Ordinance requires that the site have at least 11 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 13 trees will meet this standard. The tree species and plantings proposed on the landscaping plan are consistent with the City Tree List and are permitted to be planted on site. Rock mulch will be placed around the interior islands where there will be a mix of deciduous and coniferous plantings. Sod will be placed mostly around the perimeter of the site in between the parking lot curbing and property lines.*

### **Outdoor Seating**

Food service businesses, including, but not limited to, bakeries, delicatessens, coffee shops, and restaurants, may provide temporary outdoor seating as an accessory use for their patrons, provided the following requirements are met:

- A. An administrative permit shall be reviewed and approved by the City Planner or his/her designee. If the proposed outdoor seating area abuts a residential district, then a Conditional Use Permit is required.

*The outdoor seating area does not abut a residential district and a Conditional Use Permit will not be required.*

- B. Seating and furniture shall enhance the appearance of the business.

*According to the site plans there will be three circular tables in the patio area which will give customers an option to sit outside. This will enhance the appearance of the business.*

- C. Seating areas shall be located in a controlled or cordoned area with at least one (1) opening to an acceptable pedestrian walk. When a liquor license is involved, an enclosure is required and the enclosure shall not be interrupted. Access to such area shall be through the principal building only. Signage shall be displayed that restricts the consumption of alcohol outside of the designated outdoor seating area.

*The site plans do not display the outdoor patio having any barriers to make it a controlled area.*

- D. Seating shall be located and designed so as not to interfere with pedestrian and vehicular circulation.

*The seating area is located on the west side of the building on a widened sidewalk and will not interfere with pedestrian or vehicular circulation.*

- E. Seating areas shall be equipped with trash receptacles and shall be periodically reviewed for litter pick up.

*The plans do not illustrate a trash receptacle within the outdoor patio area. This seating area will need to have a receptacle to maintain trash caused from the customers eating outside.*

- F. Seating areas shall not have loud speakers or audio equipment that is audible from adjacent property lines. All exterior sound equipment shall be shut off by ten (10) o'clock p.m.

*The seating area is on the west end of the site and directly abuts an outlot that is used as a stormwater pond. Audio equipment will be allowed as long as it is not audible to adjacent properties and is limited to business hours not past 10 p.m.*

- G. Lighting shall be permitted to the extent that it only illuminates the designated seating area.

*Lighting for the seating area will come from wall sconces on the exterior of the building. The photometrics plan does not show a light source specifically for the outdoor seating area.*

- H. Seating areas shall not obstruct required accesses, entrances, and exits into the business establishment; but shall be located adjacent to the principal use.

*The seating area is located on the west side of the building on an extended sidewalk and will not obstruct or interfere with any accesses into the establishment.*

- I. Seating shall not be located in such a manner as to obstruct parking spaces. No additional parking is required for thirty (30) seats or less. Any additional seating

over thirty (30) seats shall provide required parking based on one (1) space per three (3) seats.

*Seating will not exceed 30 spots and will not require additional parking stalls on site.*

- J. Any proposed outdoor seating plan over fifty (50) seats shall be reviewed as a Conditional Use Permit.

*The seating area is proposed to have 3 tables with 4 seats for a total of 12 seats and will not need a Conditional Use Permit.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*The trash receptacle is proposed to be located in the southwest corner of the site and be accessed from the service lane drive around. The landscaping plan shows the trash receptacle area surrounded by shrubs. It is not identified on plans how the trash receptacles will be enclosed and designed. The trash enclosure shall be designed so that it is architecturally harmonious with the principal structure on the site. The trash enclosure will also have to be illuminated for the safety of employees.*

## **Mechanical Equipment**

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building and shall be provided in accordance with the regulations as provided within Section 15, Subdivision 3 of this Ordinance.

*Outside mechanical equipment is not displayed on site plans; however, the floor plans show each tenant space and the boutique retail space having separate mechanical rooms inside the building. If any outside mechanical equipment is needed it should be displayed on site plans where it will be located. Screening shall also be provided in accordance with Section 15, Subdivision 3 of the City's Zoning Ordinances if outside mechanical equipment is needed.*

## **Drive-Thru Facilities**

Permitted by a Conditional Use Permit only as an accessory use to a business or restaurant providing the following requirements are met:

- A. No drive-thru window shall be adjacent to a public street.

*The proposed drive-thru window will be located on the east side of the building and will not be directly adjacent to a public street.*

- B. Drive-thru facilities shall be limited to one (1) service window which is part of the principal structure and not more than two queuing lanes, unless approved along with additional landscaping, screening, or other pedestrian amenities such as fencing, seating, raised pedestrian crossings, etc.

*The exterior building elevations display one drive-thru window and one designated queuing lane.*

- C. There shall not be any additional curb cuts on a public right-of-way exclusively for the use of drive-thru queuing or exit lanes. Drive-thru traffic shall enter and exit from internal circulation drives.

*The curb cuts will be located on 5<sup>th</sup> Ave NE and Cherrywood St NE to access the site. These curb cuts will not be used exclusively to enter the drive thru lanes.*

- D. Queuing space for at least four (4) cars or seventy (70) feet shall be provided per drive-thru service lane as measured from but, not including the first drive-thru window or teller station.

*The drive-thru lane will be able to accommodate 8 cars in addition to the queuing space at the drive-thru window.*

- E. Queuing space shall not interfere with parking spaces or traffic circulation with the parking lot or upon the public right-of-way.

*Queuing space is located on the east side of the building and will wrap around a landscaping island, which is separated from the parking area on site. A total of 9 cars will be able to fit in the queuing lane and is not expected to back up traffic on site or onto the public right of way.*

- F. Alcoholic beverages shall not be served.

*There will be no alcoholic beverages sold on site.*

- G. Exterior loud speakers shall be located a minimum of one hundred fifty (150) feet from any parcel containing a residential use and such speakers shall comply with the noise regulations as provided within Isanti City Code of Ordinances.

*The site does not border a residential area.*

- H. A by-pass lane shall be provided, allowing autos to exit the drive-thru lane from the stacking lane.

*A by-pass lane is not provided that runs parallel to the drive thru lane, allowing vehicles to exit the drive-thru lane from the stacking lane. The curbing shows a 12 ft width of the drive-thru lane which will need to be extended to provide a by-pass lane.*

- I. Screening of automobile headlights must be provided. Screening shall be at least three (3) feet in height and fully opaque. Screening shall consist of a wall, fence, dense vegetation, berm or grade change or similar screening as determined to be acceptable by the City Council.

*The landscaping plan displays large trees surrounding the perimeter of the parking area on the north and east sides of the site. These trees will provide partial screening of automobile headlight glare from the parking stalls but there are gaps in the landscaping where shrubs could be planted to eliminate this issue. A 2 ft high retaining wall is proposed along the west boundary line which will partially shield the 6 parking stalls on this side of the site.*

### **Signs**

*The site proposes wall signage on the front of the building and one freestanding sign near the curb cut on Cherrywood St NE. All signage on site will need to have a sign permit and be reviewed by city staff to ensure that the location, design and dimensions meet the requirements listed in Section 16 of the City Zoning Ordinances.*

**Staff Recommendation:** Staff recommends approval of the proposed commercial building located at 291 5<sup>th</sup> Ave NE with the following conditions:

Conditions:

- Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances

- Trash enclosure must be illuminated for the safety of employees
- Trash enclosure must be screened from lot lines and follow Section 14, subd.3 in the City's Zoning Ordinances for Trash Enclosure Standards
- All parking stalls around the perimeter of the site must have landscaping buffers to protect surrounding properties from vehicle headlight glare
- A bicycle rack with at least 3 spaces shall be installed on site and follow Section 17, Subdivision 14 of the City's Zoning Ordinances when determining location
- If outside mechanical equipment is needed on site, the location shall be shown on site plans and shall be shielded in accordance with Section 15, Subdivision 3 of the City's Zoning Ordinances
- The outdoor patio area must be enclosed and have an outdoor trash/recycling receptacle
- "Do not Enter" signs shall be placed on the west end of the service lane exit as well as the exit of the drive-thru lane
- Handicapped Signs shall be installed in front of these three designated parking stalls
- All signs shall need a sign permit when applicable to determine dimensions, design and locations
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 2/7/2022.

**Attachments:**

- Site Plans
- Floor Plans
- Landscaping Plans
- Exterior Elevations
- Engineer's Memo Dated 2/7/2022
- Fire Chief's Memo

CHERRYWOOD STREET NE

8 5/8 CURB & GUTTER  
(TYP)

L=28.00  
Δ=26°44'03"  
R=80.00

S89°54'01"E 273.41

10 FT. DRAINAGE & UTILITY  
EASEMENT (PER PLAT)

SIGNAGE

30'

54 TOTAL  
STALLS

37'-2"

2' HIGH  
RETAINING WALL

S0°05'59"W 229.72

PATIO

26' WIDE  
DRIVE

HANDICAP  
CURB CUT

PICK-UP  
WINDOW

ONE-WAY  
DROP-OFF

OUTLOT A

BOUTIQUE  
9,720 SF  
FFE 943.0

20' ONE-WAY  
SERVICE DRIVE

2' HIGH  
RETAINING WALL

S89°54'01"E 293.58

N0°05'59"E 210.67

5TH AVENUE NE

TRASH

5 FT. DRAINAGE & UTILITY  
EASEMENT (PER PLAT)

11'-7"

20'

14'

11'-7"

20'

13'

12'

20'

24'

26'

26'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

9'

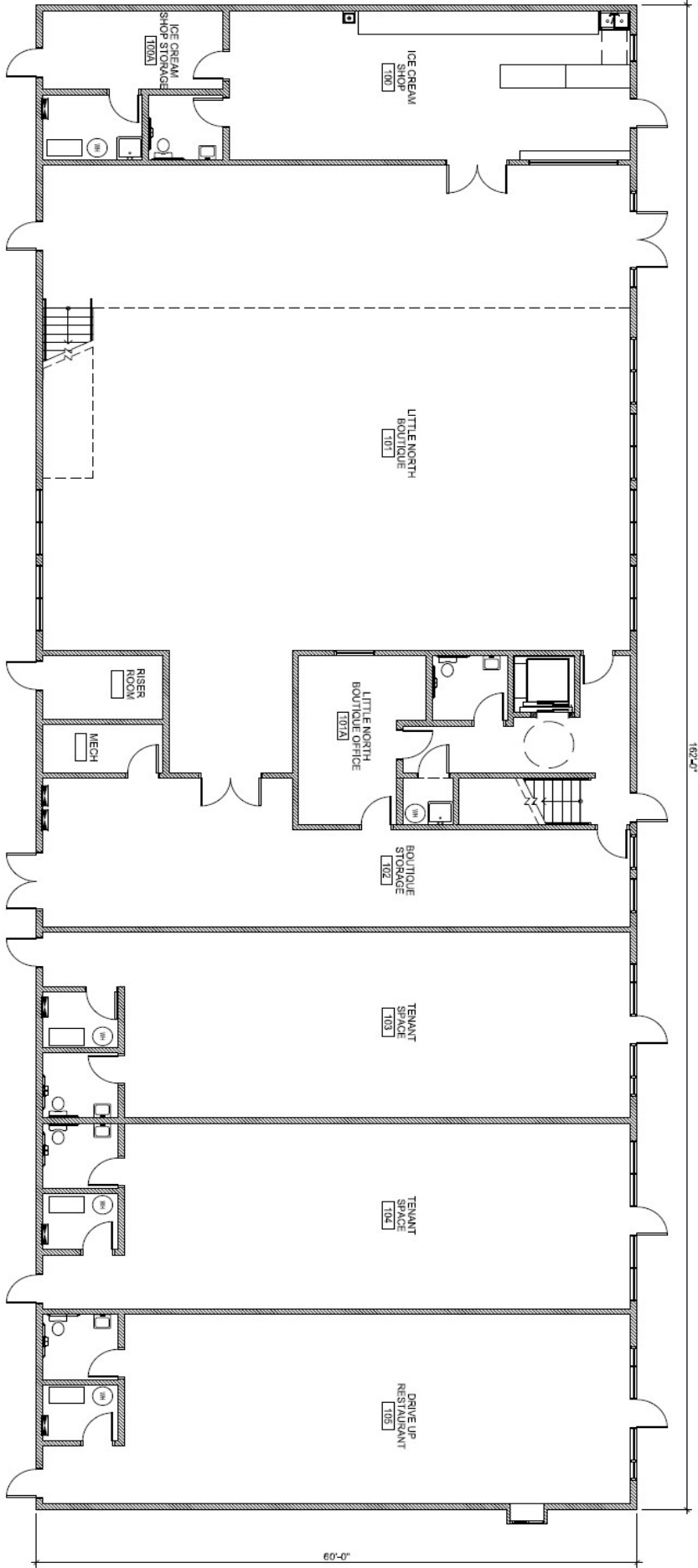
9'

9'

9'

9'

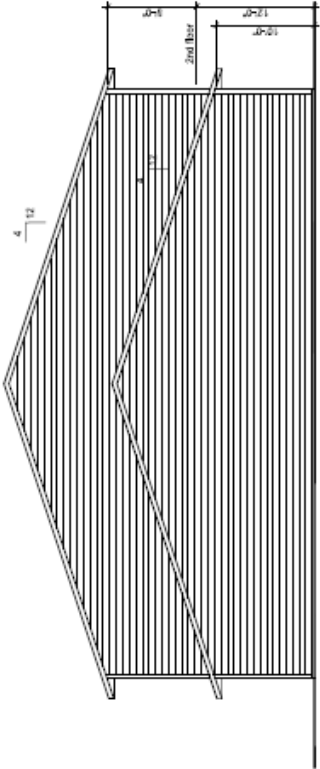
9'



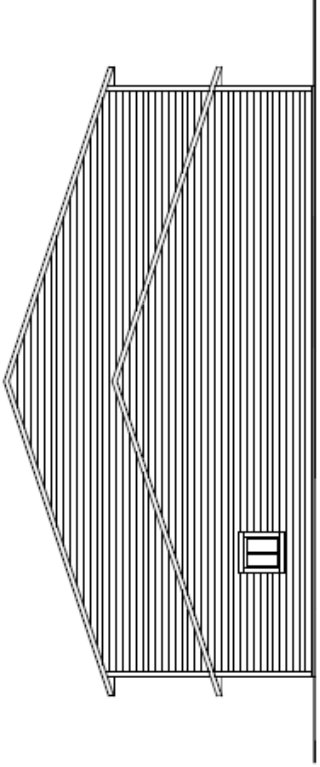
60'-0"

167'-7"

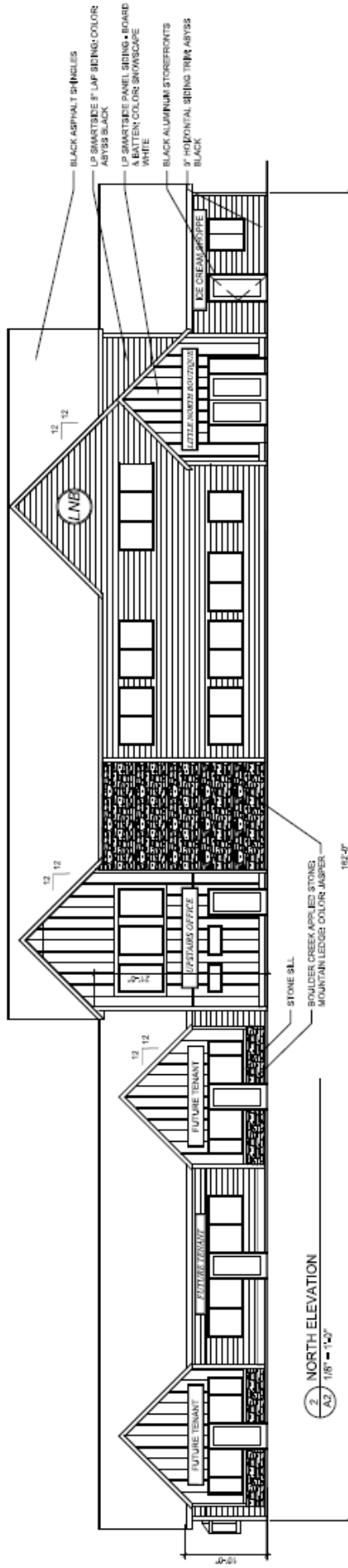




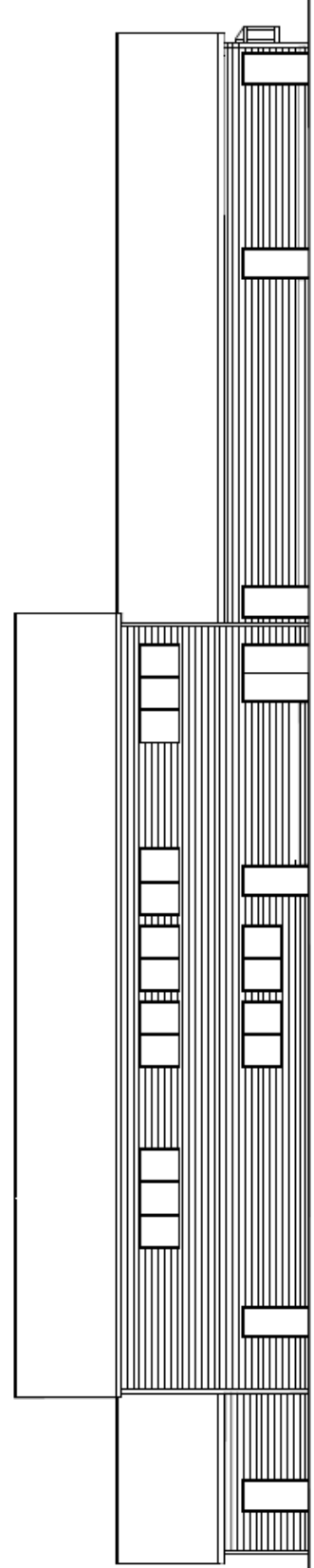
3 WEST ELEVATION  
A2 1/8" = 1'-0"



4 EAST ELEVATION  
A2 1/8" = 1'-0"



2 NORTH ELEVATION  
A2 1/8" = 1'-0"



1 SOUTH ELEVATION  
A2 1/8" = 1'-0"



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** February 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Little North Boutique - Plan Set - Engineering Review  
City of Isanti, MN  
Project No.: 0R1.123130

We have reviewed the plan set entitled "Little North Boutique" with a revision date of January 28, 2022. The project includes the construction of a new building with multiple tenant spaces and a parking lot. We have reviewed the submitted documents and have the following comments:

### Title Page C-1:

1. Legend notes C-7 SWPPP but this page appears to be missing.

### Site Plan C-4:

2. A concrete valley gutter will be needed at each proposed entrance. See attached detail.
3. Depict where gutter out curb will be used.
4. A bypass lane is required on the drive through.
5. Post signage and striping to designate One-Way road or widen loop to 24-ft F-F and modify drive through area on east end.
6. Submit retaining wall detail.

### Grading Plan C-7:

7. Show spot elevations on curb lines at grade breaks.
8. Label curb grades and pavement grades with flow direction.
9. Detail ped ramp in front of building to show ADA compliance. It appears cross slopes in walkways will exceed 2%
10. Note walk height along north side of building. Submit detail for thicken edged walk if planned to expose north side as curb.

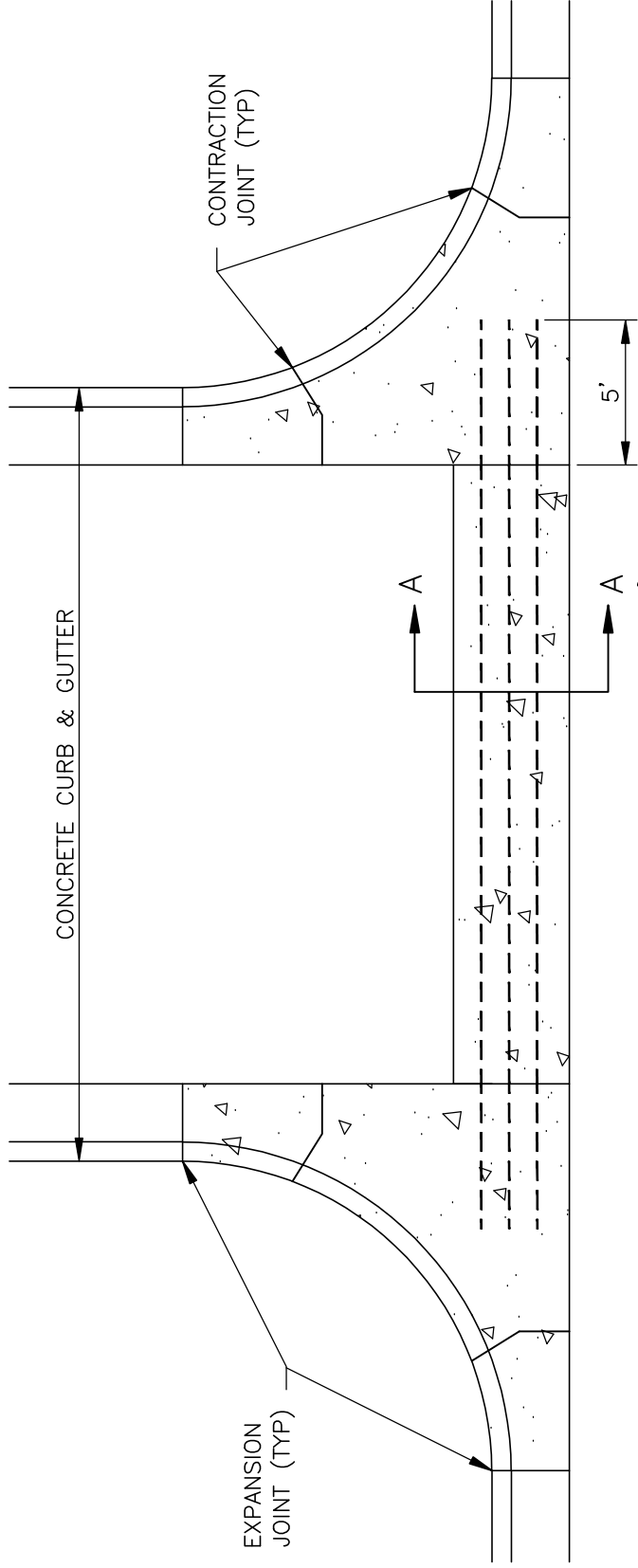
### Utility Plan C-8:

11. Separate sewer and water service lines will be required with for each separate tenant space. New lines will need to be cut into the sanitary main in the street. The 5 separate water services may be able to tap onto the existing 8" water stub that extends to the parcel, but each water service will need to have a curb stop at the ROW.
12. Storm may discharge directly into Outlot A pond instead of piping all the way to the east if found to be cost effective. Would need adequate apron, riprap, and slope stabilization into pond.
13. Keep waterline 10 feet from adjacent utilities, specifically noted near CB D, install 45-degree bends in lieu of 90-degree to make corner.

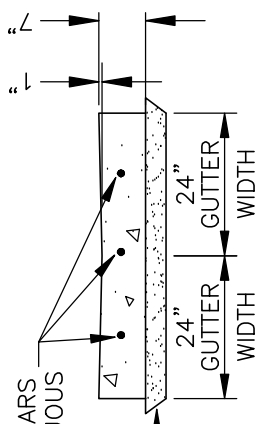
### Stormwater:

14. See attached SWPPP checklist and make necessary revisions to address all missing items.
15. Submit NPDES permit to City prior to work beginning on site.

We recommend approval of the plans once the above comments are addressed.



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER

NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REVISIONS:			
ORIG. PROJ:		REMARKS:			
PROJ. #:		ENG/TECH:			



# SWPPP Checklist

## Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: Little North Boutique, Kasi Buzzell Project name: Little North Boutique  
 Application date: 1/28/22 Reviewer name: Jasmi Cook

### SWPPP Narrative

- | Yes                                 | No                                  |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Describe the nature of the construction activity?   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Describe project phasing.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets SWPPP sheet listed as G-7 on title page legend but not included in set

- | Yes                                 | No                                  |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Existing and final grades.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Soil types.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- |                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                                     | <b>Yes</b>                          | <b>No</b>   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Adequately sized and appropriately located  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Designed to prevent short circuiting?   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Do outlets have energy dissipation?   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

Yes No

- Are calculations/computer model results included to demonstrate the design and adequacy?
- Is adequate maintenance access provided?
- Infiltration or filtration

Yes No

- Is infiltration/filtration appropriate to the site and land uses?
- Phasing to ensure excavation of infiltration system after drainage area stabilized?
- Rigorous sediment and erosion controls to keep sediment and runoff away from the system?
- Is a pretreatment device planned?

Yes No

Wet sedimentation basin:

Yes No

- Configured so scour or resuspension is minimized and to prevent short circuiting.
- Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond
- Basin outlets designed to prevent discharge of floatables.
- Stabilized emergency overflow.

Yes No

Regional ponds:

Yes No

- Is written authorization from owner of regional pond included in SWPPP?
- Does regional pond design conform to the permit requirements for wet sedimentation basin?

**Other Requirements**

Yes No

- Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.
- Minimize disturbance or other techniques to minimize destabilization of steep slopes.
- Has appropriate construction phasing been implemented?
- Exposed soils have erosion protection/cover initiated immediately and finished within 14 days
- Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.
- Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.
- Pipe outlets have energy dissipation within 24 hours of connecting.
- Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.
- Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?
- Are all inlets protected? *show inlet protection*
- Stockpiles have sediment control.
- Construction site entrances minimize street tracking.
- Plans minimize soil compaction and preserve topsoil.
- 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.
- Is a dewatering plan required?
- Storage, handling, and disposal of construction products, materials, and wastes.
- Fueling and maintenance of equipment or vehicles; spill prevention and response.
- Vehicle and equipment washing.
- No engine degreasing allowed on site.
- Containment of Concrete and other washout waste.
- Portable toilets are positioned so that they are secure.
- Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).

**Requirements of Appendix A**

Yes No

Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water?

Yes No

- Stabilization initiated immediately and all soils protected in 7 days
- Provide temp basin for five acres draining to common location.
- 100-foot buffer
- Other as appropriate

**Wetland Impacts**

Yes No

Does this site have a discharge with the potential for adverse impact to wetlands:

Yes No

Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?

January 25, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
P.O. Box 428  
Isanti, MN 55040



RE: 291 5<sup>th</sup> Ave NE Plan Review

Dear City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed commercial building located at 291 5<sup>th</sup> Ave NE named Little North Boutique.

At this time, Isanti Fire has no concerns moving forward with permitting as shown.

Sincerely,

A handwritten signature in blue ink, appearing to read "Alan Jankovich", is written over a circular blue stamp or seal.

Alan Jankovich | Fire Chief  
Isanti Fire District



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, March 15, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

- 1. Meeting Opening**
  - A. Call to Order
  - B. Pledge of Allegiance
  - C. Roll Call
  - D. Agenda Modifications
  - E. Adopt the Agenda
  
- 2. Meeting Minutes**
  - A. Approval of Minutes from the February 15, 2022 Planning Commission Meeting
  
- 3. Public Hearing**
  - A. Request by Wolf River Industries/Coyote Creek Industries for approval of Site Plans under City Ordinance 445 Section 18, said request is for two industrial buildings located at 687 East Dual Blvd NE and 703 East Dual Blvd NE.
  
- 4. Other Business**
  
- 5. Discussion Items**
  
- 6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, February 15, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:13 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.  
Members Absent: Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

#### 2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8

- A. Election of 2022 Chair
- B. Election of 2022 Vice-Chair
- C. Election of 2022 Secretary  
The Planning Commission determined that the current chair, vice-chair and secretary positions will remain the same for the 2022 calendar year. The 2022 Chair position will be Mayor Jeff Johnson, the Vice-Chair Steve Lundeen, and the Secretary is the Community Development Director. Motion to elect these chair, vice-chair and secretary positions by Lundeen, second by Collison. Motion passes 6-0.
- D. Approval of Meeting Dates  
The upcoming planning commission meeting dates and calendar were approved as presented. Motion for approval by Bergley, second by Lundeen.

#### 3. Meeting Minutes

- A. Approval of Minutes from the December 21, 2021 Planning Commission Meeting  
motion by Collison, second by Bergley motion passes 6-0.

#### 4. Public Hearing

- A. Request by Kassondra Buzzell for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd. 4, said request is for a commercial building with a Drive-Thru located at PID 16.126.0070.

Saltis presented the request for commercial building site plan review and a Conditional Use Permit for a drive-thru to be located on a vacant parcel in the B-2 General Business Zoning District. Kassondra Buzzell, the applicant representing the Little North Boutique was present at the meeting and available for questions from the Planning Commission. Mayor Johnson asked the applicant how large the tenant spaces in the building will be. Kassondra explained that the three tenant spaces would be around 1,200 square feet each. Mayor Johnson also asked if the conditions of approval for the project are reasonable and can be met. Kassondra responded that they are willing to meet these conditions and that they are reasonable. There was no one from the public present for resident comments and the public hearing closed. Motion for approval of the Site Plans and Conditional Use Permit with conditions listed in the staff report dated 2-15-2022 by Lundeen, second by Bergley, motion passed 6-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Lundeen to adjourn, motion passed 6-0, meeting adjourned at 7:30 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: March 15, 2022

SUBJECT: Site Plan Review for two proposed Industrial buildings located at 687 and 703 E Dual Blvd NE

---

**Request:** The applicant, Wolf River Industries/Coyote Creek Industries is requesting site plan approval for two proposed Industrial buildings located at 687 and 703 E Dual Blvd NE.

**Overview/Background:** The applicant proposes to construct the two buildings on vacant lots located at 687 and 703 E Dual Blvd NE in the City's Industrial Park.

These are shovel ready sites and were once part of a 15.03-acre parcel until it was split into three separate 5.01-acre parcels. Wolf River Electric bought two of these parcels from the city to develop and Isanti's Economic Development Authority still owns the parcel to the south (605 E Dual Blvd NE).

These parcels are currently zoned I-1 Industrial Park District in which "Light Manufacturing" and "Warehousing" are permitted uses. Wolf River Electric intends on occupying at least 51% for their company and temporarily renting out the remaining space to tenants until expansion is needed. The two proposed buildings are intended to be 16,125 sq ft each. Floor Plans show four possible leased spaces of roughly 4032 sq ft each. The site is proposed to provide seventy-nine total parking stalls.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

### **Setbacks – Principal Building**

Minimum Front Yard Setback

There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.

Minimum Side Yard Setback                      There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.

Minimum Rear Yard Setback                      30 feet

*The proposed buildings will be located over 100 ft from the front property line and will be setback over the required 15 ft minimum for the side. The proposed buildings will meet all required setbacks for the I-1 zoning district.*

**Easement**

An easement shall be required for the shared access to the sites and East Dual Blvd NE. Site Plans indicate that a shared property line between the two parcels separates the 30 ft drive aisle. Although the property owners are the same for these two parcels, staff recommends an easement be obtained to prevent complications if one of the properties was ever sold.

**Impervious Surface Coverage**

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter.

*Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. The sites will consist of more than 25% green space and the landscaping requirements will be met. If future development or paving occurs on the sites, the impervious surface maximum of 75% shall be considered.*

**Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas and driving surfaces are proposed to be surfaced with a Bituminous Material. Concrete sidewalks are proposed around the perimeter of the building.*

**Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.*

**Parking Lot Setbacks**

- Front Yard Setback                      10 feet
- Rear Yard Setback                      10 feet

- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from property lines.*

**Parking Standards**

**Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

**Industrial Uses**

Manufacturing, assembly, processing, research, experimental or testing stations	1.25 spaces for each employee on the major shift or 1 space for each 500 sq/ft whichever is greater <i>(Ord. No. 617)</i>
---	---

*Based on the proposed use and total square footage of the proposed buildings, 65 parking spaces are required for the two 16,125 square foot buildings. Three stalls are required to be handicap accessible based on the total number of proposed parking stalls. The site plans for the two buildings show 79 parking stalls total, in which four parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use and are compliant with ADA standards for handicap accessible stalls.*

**Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

**TABLE 9: Parking Lot and Parking Stall Dimensions**

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will have two-way traffic for the parking areas in front of the proposed building and the sides of the building. Stall dimensions are shown as 9 feet in width and 19 feet in length and follow this requirement. The drive aisle widths around both parking areas are proposed for at least 26 feet and meet the requirement for two-way vehicle circulation. These drive aisle widths are accommodating to the state Fire code where Fire apparatus access surrounding the building are at least 20 ft in width.*

## **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

### **Outdoor Lighting Standards**

*An exterior lighting plan shall be submitted that shows lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. These light sources shall meet all criteria listed in Section 14 of the City Zoning Ordinances. Freestanding light poles shall be illustrated on site plans to determine their location to ensure that the foot candles near property lines are being met.*

## **Building Design and Construction**

### Exterior Building Materials

- A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:
1. Face brick.
  2. Natural stone.
  3. Glass.
  4. Decorative concrete block as approved by the City Council.
  5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
  6. Masonry stucco.
  7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
- B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

*Exterior building materials mostly include prefinished metal panels and roofing and a stone wainscoting surrounding the front and sides of the building. Colors for the building materials were not specified on architectural plans but will need to complement surrounding structures in the Industrial District.*

## **Screening, and Landscaping**

A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans. If outside mechanical equipment is proposed it shall be displayed on site and landscaping plans to review the location and screening from adjacent properties.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*A loading area is displayed on exterior elevations to have four garage doors located in the rear of the building facing west. There are no surrounding residential areas near the site and will not have to be shielded from view.*

## **Landscaping**

**Non-Residential Requirements:** In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

**Minimum Landscaping Requirements.** All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

**Maintenance of Landscaping.** The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

**Soil Requirements.** A minimum of four (4) inches of topsoil shall be provided upon all lots.

**Turf Requirements.** All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

### Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*The landscaping plan proposes to include small shrubs and plantings in front of the parking stalls and the front of the building facing E Dual Blvd NE. A mix of ornamental and overstory trees are proposed running parallel to E Dual Blvd NE. Sod will surround the front parking area curbing and the proposed Stormwater Pond on Lot 2. The City Landscaping Ordinance requires that the site have at least 15 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage). Lot 1 is proposed to have 19 trees across the site and Lot 2 is proposed to have 22 trees. The proposed amount of 41 trees across both sites will meet this standard.*

### **Refuse and Trash Receptacle Enclosures**

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.

2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*There are two trash enclosures proposed on site plans, one enclosure per building. Lot 1 proposes the trash enclosure to be located in the rear of the building on the northwest corner of the curbing. Lot 2 proposes the trash enclosure to be located near the storm pond on the south west corner of the rear curbing. The trash enclosures on the site plans show that they will be 24 ft in width, 16 ft in depth and 7 ft in height. The materials of the trash enclosure include varying corduroy and rock faced concrete blocks and will be placed on a concrete pad. The trash enclosures will need to be illuminated for the safety of employees and shown on future photometrics plans. The landscape plan shows spruce trees surrounding both of the trash enclosures for shielding from surrounding properties.*

### **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

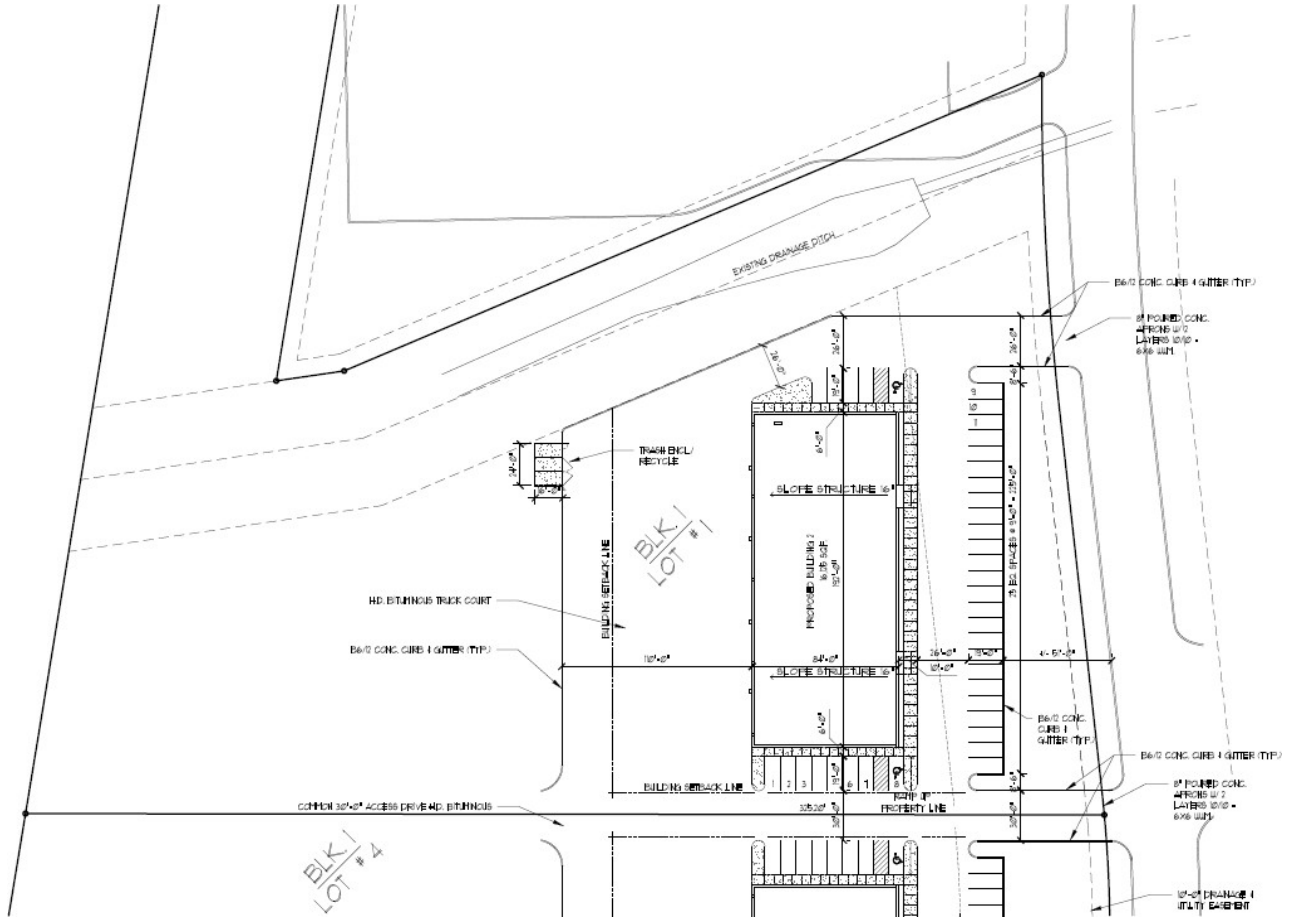
**Staff Recommendation:** Staff recommends approval of the two proposed Industrial buildings located at 687 and 703 East Dual Blvd NE with the following conditions:

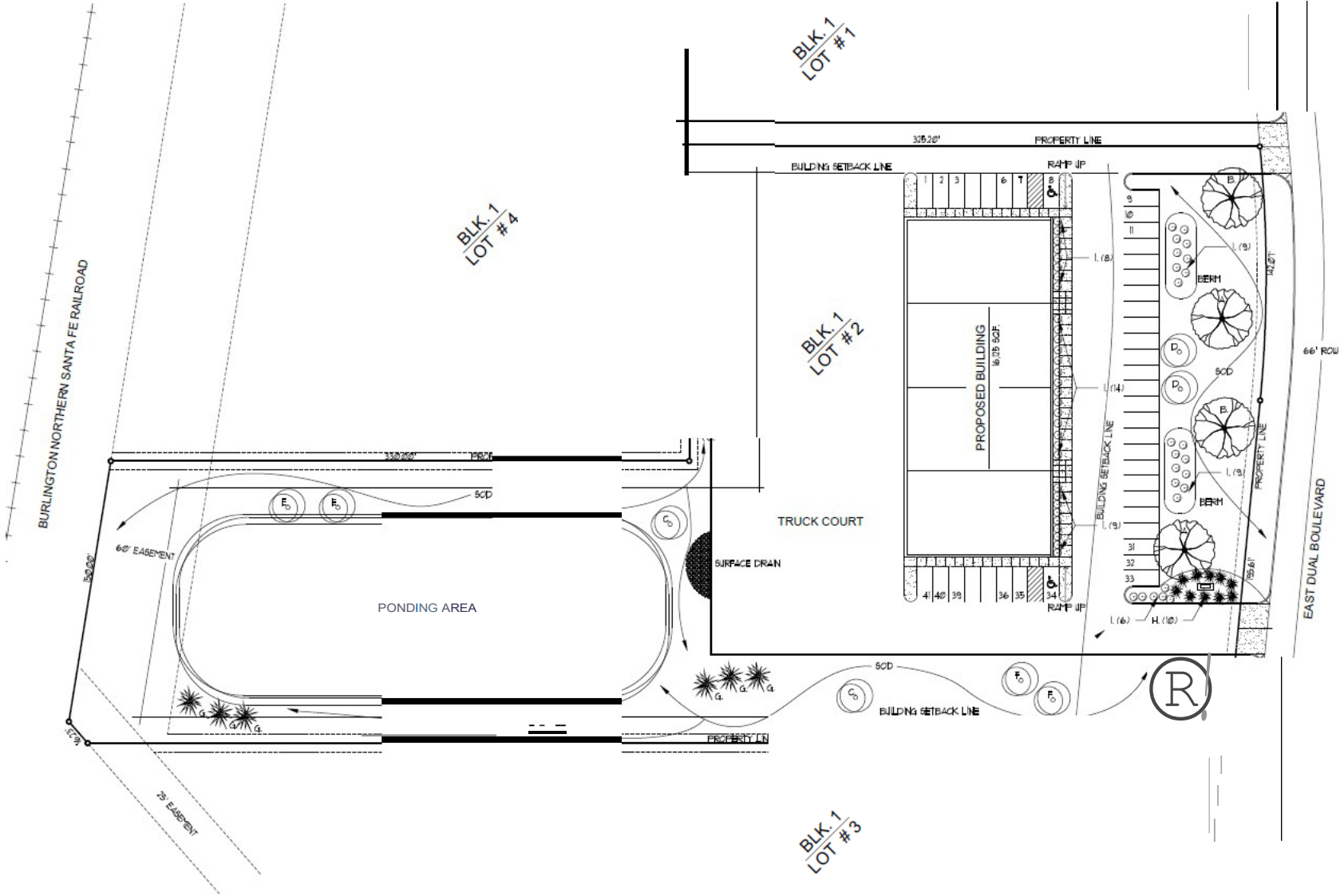
1. A photometrics plan shall be submitted to review lighting types, locations of lights and foot candle readings
2. An easement shall be obtained for the 30 ft wide shared access to both sites
3. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
4. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
5. All conditions/comments listed in the City Engineer's memos dated 3/8/2022 shall be addressed

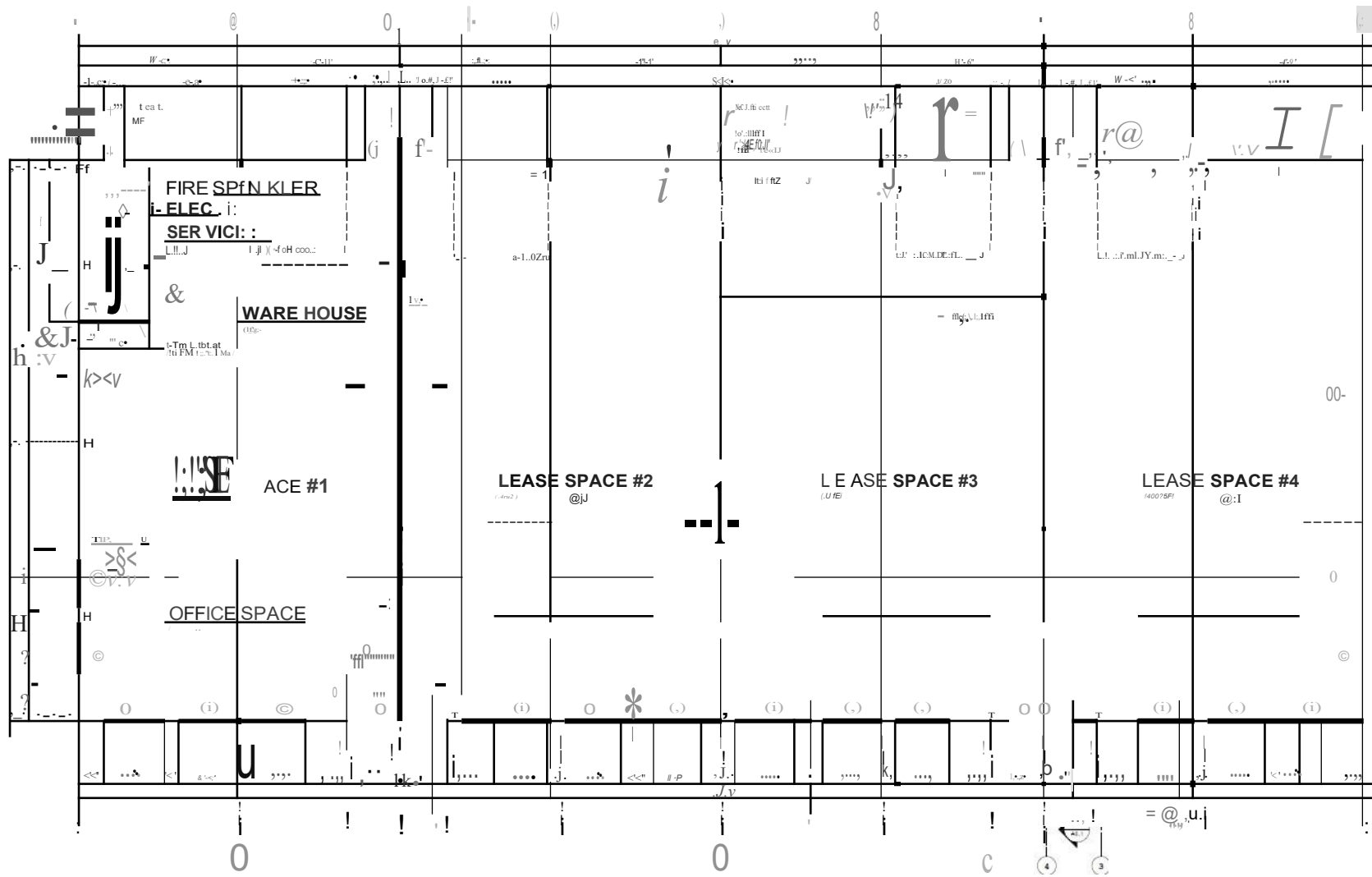
### **Attachments:**

- Site Plans, Floor Plans, Exterior Elevations and Landscape Plans
- City Engineer's Memos Dated 3/8/2022

# Site Plans



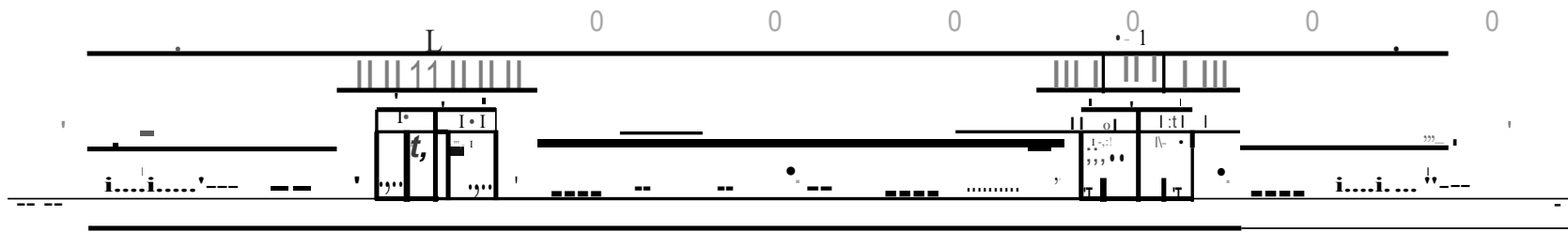




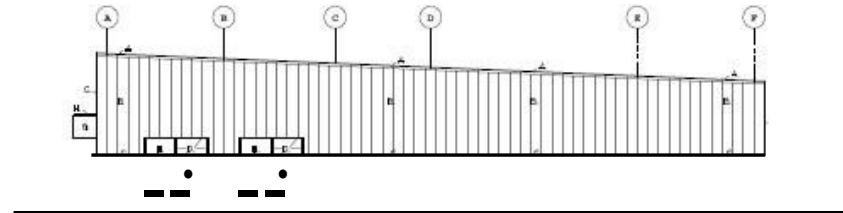
**FLOOR PLAN (BUILDING#1)**

'18" = 1' - 1"

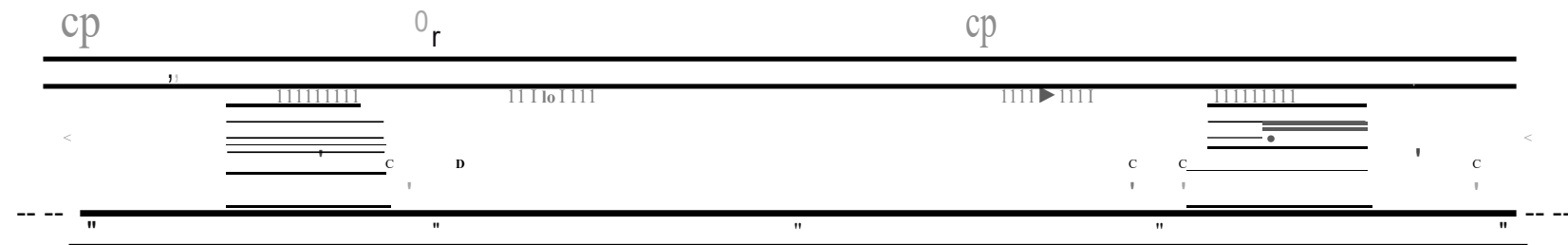
t) NORTH



**EAST ELEVATION**



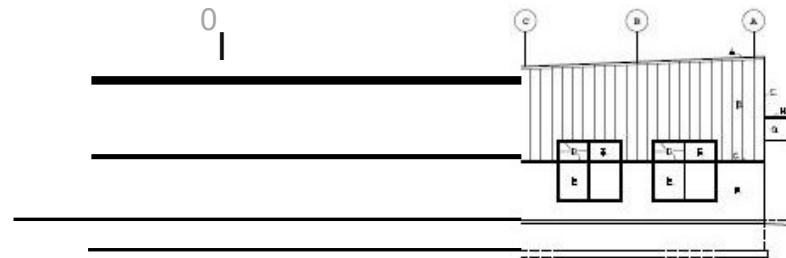
**NORTH ELEVATION**



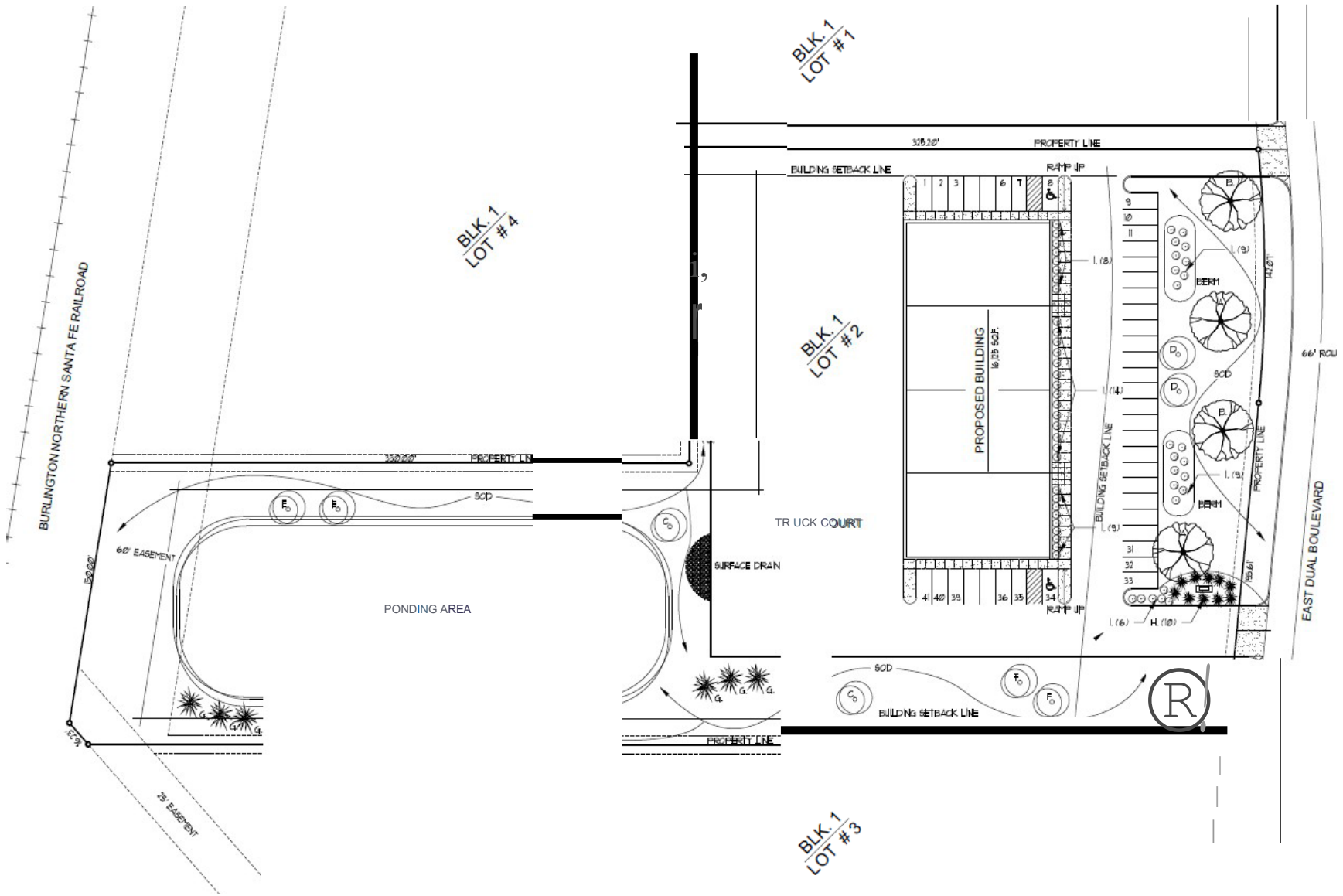
**WEST ELEVATION**

**EXTERIOR FINISH SCHEDULE**

- A. PRIME METAL ALUMINUM TO MATCH PANELS
- B. PRIME METAL ALUMINUM PANELS
- C. PRIME METAL WITH POLYURETHANE
- D. ALUMINUM WITH POLYURETHANE
- E. PRIME METAL ALUMINUM TO MATCH
- F. PRIME METAL ALUMINUM TO MATCH
- G. PRIME METAL ALUMINUM TO MATCH
- H. PRIME METAL ALUMINUM TO MATCH
- I. PRIME METAL ALUMINUM TO MATCH
- J. PRIME METAL ALUMINUM TO MATCH
- K. PRIME METAL ALUMINUM TO MATCH
- L. PRIME METAL ALUMINUM TO MATCH
- M. PRIME METAL ALUMINUM TO MATCH



**SOUTH ELEVATION**





Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** March 8, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Wolf River Electric – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Wolf River Electric – Lot 1” with a signature date of February 18, 2022 and received on March 2, 2022.

The plan includes the construction of a new building, parking lot, pond, and storm sewer system.

An existing and proposed stormwater model has not been submitted.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C3 Civil Site Plan:
  - a. Western parking stall too short, car would be hit.
  - b. Construct valley gutter through both proposed entrances. See attached detail.
  - c. Need a 15' ingress/egress easement from Lot 2.
2. Sheet C4 Erosion & Sediment Control Plan:
  - a. Add inlet protection on all proposed catch basins and at the next downstream catch basin along the street.
  - b. Show double silt fence along the open ditch where regrading slope.
  - c. Show construction limits.
3. Sheet C5 Erosion & Sediment Control Details:
  - a. Where does the 13" square catch basin go?
  - b. Add inlet protection details.
4. Sheet C7 – Grading Plan:
  - a. Label slope of embankment down to drainage ditch.
  - b. Show how handicap ped ramps will meet ADA design.
  - c. Show spot elevations at all grade changes on the proposed curb, with grades.
  - d. Show percent slope on the pavement surface and sidewalk.
5. Sheet C8 – Utility Plan:



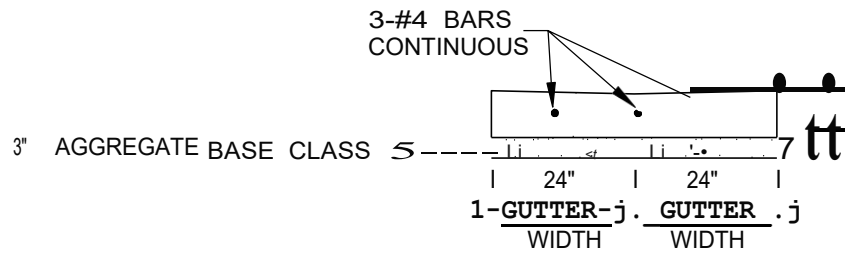
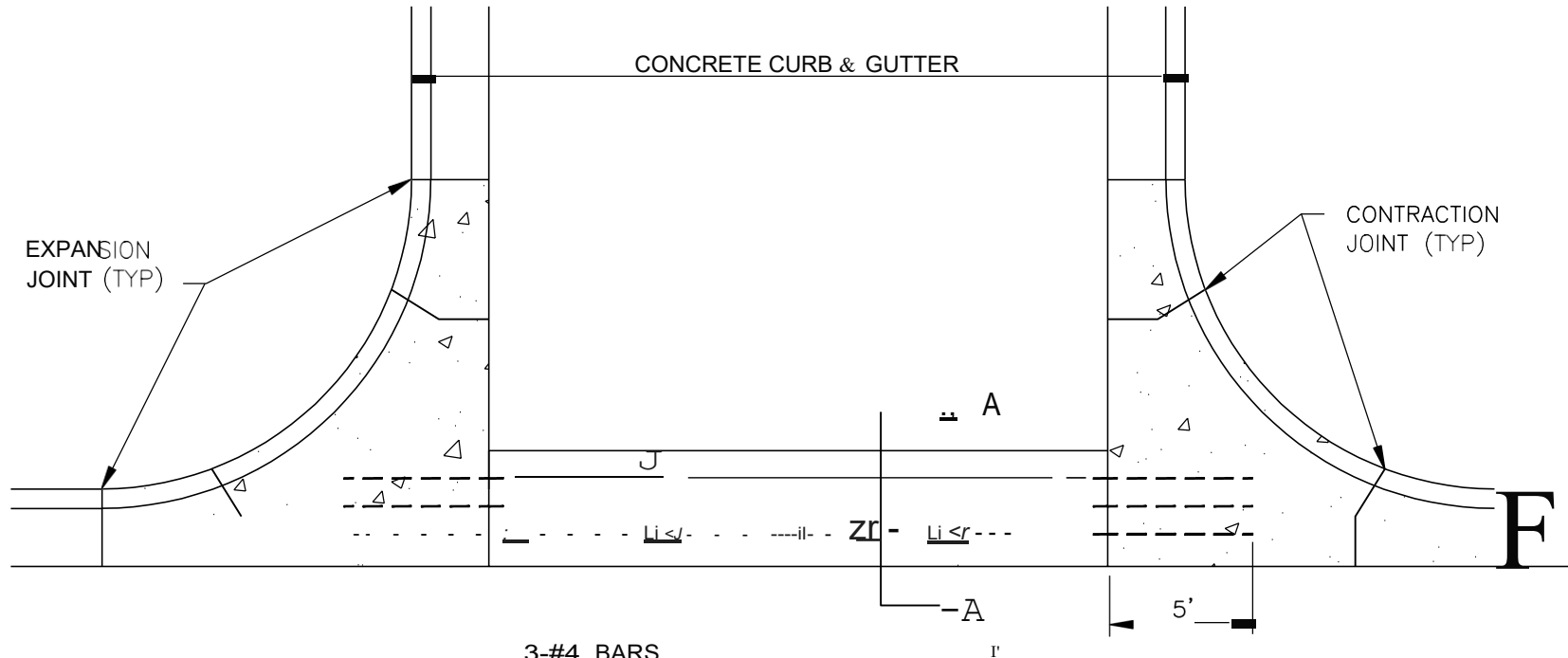
- a. Need separate sewer and water services for each tenant space if they plan to be metered separately.
  - b. A 6" PVC sanitary sewer service and 6" DIP water service are already stubbed to the property line. See attached record drawing. Connect to this service, as opposed to cutting into the street.
    - i. Label pipe slopes and inverts, as well as cleanouts as needed.
  - c. Need a detail on the outlet control structure & call out riprap at all outlet aprons into pond and into ditch.
  - d. Need utility easement covering storm pipe and pond on Lot 2 in favor of Lot 1.
6. Sheet L1.1 – Landscape Plan:
- a. No tree plantings within 10 feet of sanitary or water services.

Additional Documents:

1. Easements:
  - a. Submit ingress/egress easements written for Lots 1 & 2 to each other for shared access.
  - b. Submit utility easement to Lot 1 from Lot 2 including storm pipe and covering entire pond including outlet.
2. Stormwater Modeling & SWPPP Checklist:
  - a. Submit subcatchment maps for the existing and proposed models.
  - b. Show 2, 10, and 100 year pre and post runoff rates and volumes.
  - c. Use Atlas-14 storm event modeling.
  - d. Verify ground water will be over 3-feet below the bottom of the infiltration basin.
  - e. Complete attached SWPPP checklist.
  - f. Complete Pond Management Agreement showing maintenance schedule and authorizing City access.
  - g. Submit SWPPP prior to beginning construction as over 1 acre of surface will be disturbed.

We recommend approval of the site plan once the above items are addressed and all documents have been received & reviewed.

Please contact me if you have any questions.



- NOTE:**
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

SECTION A  
**CONCRETE VALLEY GUTTER**  
 NOT TO SCALE

<b>CONCRETE VALLEY GUTTER</b>		BMI DETAIL PLATE NO: <b>7-100</b>	APPROVAL:   DATE:	DETAIL LOG	
			STDS COMM. PRING,200	REVISIONS:	DATE:
PATH: Y:\7-100		REMARKS :			
ORIG. PROJ:					
PROJ. #:	ENG/ TECH :				

# OUTLOT C

EX. Mfl

IMH 1

MH 2

MH 3/

MH 6

MH 5

# OUTLOT B

# EAST DUAL BOULEVARD

NORTH

0 25 50 100 200

NWL = 32.6  
HWL = 35.5

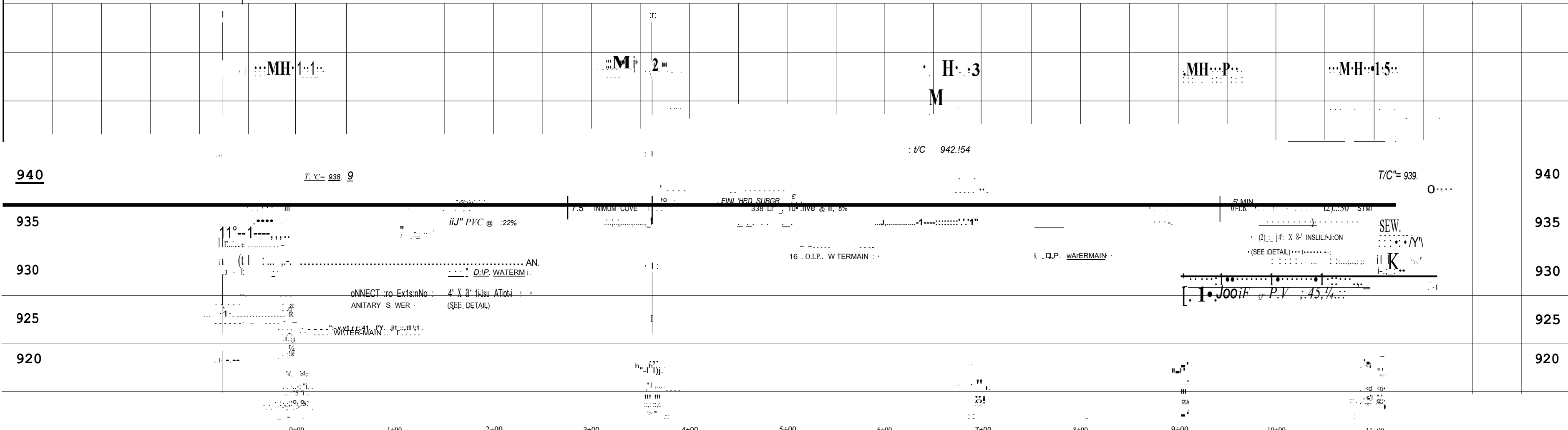
### LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- EXISTING OVERHEAD(OHE) ELECTRIC LINE, POWER POLE AND GUY WIRE
- EXISTING UNDERGROUND GAS LINE
- EXISTING BURIED TELEPHONE LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED HYDRANT & VALVE
- WETLAND LIMITS

CONNECT TO EXISTING SANITARY SEWER

16" BUTTERFLY VALVE

NY SANITARY SEWER WITH LESS THAN 5' OF COVER SHALL BE INSULATED.



940

T/C = 938.9

T/C = 939

940

935

935

930

930

925

925

920

920

0+00 1+00 2+00 3+00 4+00 5+00 6+00 7+00 8+00 9+00 10+00 11+00

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE EXCAVATING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
1. ALL WATERMAIN SHALL BE DUCTILE IRON, CLASS 52, WITH 7.5 FOOT MINIMUM COVER.
  2. ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SOR 35 UNLESS OTHERWISE INDICATED.
  3. WATER SERVICES SHALL BE 6" DUCTILE IRON PIPE.
  4. SANITARY SERVICES SHALL BE 6" PVC SOR 26.

**CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004**

Associates, Inc.

### Revisions

No.	Date	By	Remarks
A	01/17/05	AFK	RECORD PLAN REVISION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Jeffrey W. Roos*  
Name: JEFFREY W. ROOS  
Date: 3/10/03

Date

Scale 1" = 50'  
License 10206  
Designed DLK

Drawn MRD  
Date 11/15/03  
Checked DLK  
Approved JJR

Mccombs Frank Roos

Engineering  
Planning  
Surveying

15050 23rd Avenue North, Plymouth, Minnesota 55447  
phone 763/476-6010 fax 763/476-8532

E-Mail:

m  
f  
r  
a  
@  
m  
f  
r  
a  
.  
c  
o  
m

Client  
**City of Isanti**  
Isanti, MN

Project  
**2003  
Centennial  
Industrial  
Park Street  
& Utility  
Improvements**  
Isanti, MN

Sheet Title  
**Utility Plan  
& Profile**

Revisions  
|  
MFRA FILE No.: 13938

Sheet  
**7/19**



# SWPPP Checklist

## Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

---

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

---

Yes No

- Describe the nature of the construction activity?
- Address the potential for a discharge of sediment and/or other potential pollutants from the site?
- Propose erosion prevention and sediment control Best Management Practices (BMPs).
- Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.
- Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).
- Identify the training requirements are satisfied.
- Describe project phasing.
- Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)
- Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?
- Identify additional measures being taken to protect Drinking Water Supply Management Areas?
- If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?
- Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames.
- The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.
- The SWPPP must account for nature of stormwater runoff and run-on at the site.
- The SWPPP must account for the range of soil particle sizes expected to be present on the site.
- For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.

### SWPPP Plan Sheets

---

Yes No

- Existing and final grades.
- Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.
- Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.
- Impervious areas (Pre- and Post-Construction).
- Soil types.
- Locations of potential pollutant-generating activities.
- Locations of areas not to be disturbed (buffer zones).
- Tabulated quantities of all erosion prevention and sediment control BMPs.
- Location of areas where construction will be phased to minimize duration of exposed soil areas.
- Areas of steep (3:1 or greater slope).
- Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff.

### Stormwater Discharge Design

---

Yes No

- For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion.
- Are Temporary Sediment Basins required on site?

Yes No

- Adequately sized and appropriately located
- Designed to prevent short circuiting?
- Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?
- Do outlets have energy dissipation?
- Have a stabilized emergency spillway?

**Which method of permanent stormwater treatment has been selected?**

Yes No

Are calculations/computer model results included to demonstrate the design and adequacy?  
Is adequate maintenance access provided?  
Infiltration or filtration

Yes No

Is infiltration/filtration appropriate to the site and land uses?  
Phasing to ensure excavation of infiltration system after drainage area stabilized?  
Rigorous sediment and erosion controls to keep sediment and runoff away from the system?  
Is a pretreatment device planned?

Yes No

Wet sedimentation basin:

Yes No

Configured so scour or resuspension is minimized and to prevent short circuiting.  
Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond  
Basin outlets designed to prevent discharge of floatables.  
Stabilized emergency overflow.

Yes No

Regional ponds:

Yes No

Is written authorization from owner of regional pond included in SWPPP?  
Does regional pond design conform to the permit requirements for wet sedimentation basin?

**Other Requirements**

---

Yes No

Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.  
Minimize disturbance or other techniques to minimize destabilization of steep slopes.  
Has appropriate construction phasing been implemented?  
Exposed soils have erosion protection/cover initiated immediately and finished within 14 days  
Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.  
Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.  
Pipe outlets have energy dissipation within 24 hours of connecting.  
Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  
Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  
Are all inlets protected?  
Stockpiles have sediment control.  
Construction site entrances minimize street tracking.  
Plans minimize soil compaction and preserve topsoil.  
50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.  
Is a dewatering plan required?  
Storage, handling, and disposal of construction products, materials, and wastes.  
Fueling and maintenance of equipment or vehicles; spill prevention and response.  
Vehicle and equipment washing.  
No engine degreasing allowed on site.  
Containment of Concrete and other washout waste.  
Portable toilets are positioned so that they are secure.  
Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).

**Requirements of Appendix A**

Yes No

Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water?

Yes No

Stabilization initiated immediately and all soils protected in 7 days  
Provide temp basin for five acres draining to common location.  
100-foot buffer  
Other as appropriate

**Wetland Impacts**

Yes No

Does this site have a discharge with the potential for adverse impact to wetlands:

Yes No

Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?



**BOLTON  
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** March 8, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Coyote Creek – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Coyote Creek – Lot 2” with a signature date of January 18, 2022 and received on March 2, 2022.

The plan includes the construction of a new building, parking lot, pond, and storm sewer system.

An existing and proposed stormwater model has not been submitted.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C3 Civil Site Plan:
  - a. Construct valley gutter through both proposed entrances. See attached detail.
  - b. Need a 15’ ingress/egress easement from Lot 1.
2. Sheet C4 Erosion & Sediment Control Plan:
  - a. Add inlet protection on all proposed catch basins and at the next downstream catch basin along the street.
  - b. Move south silt fence to not extend across drainage ditch. Also show riprap at pond outlet and silt curtain around end.
3. Sheet C5 Erosion & Sediment Control Details:
  - a. Where does the 13” square catch basin go?
  - b. Add inlet protection details.
4. Sheet C7 – Grading Plan:
  - a. Show how handicap ped ramps will meet ADA design.
  - b. Show spot elevations at all grade changes on the proposed curb, with grades.
  - c. Show percent slope on the pavement surface and sidewalk.
5. Sheet C8 – Utility Plan:
  - a. Need separate sewer and water services for each tenant space if they plan to be metered separately.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

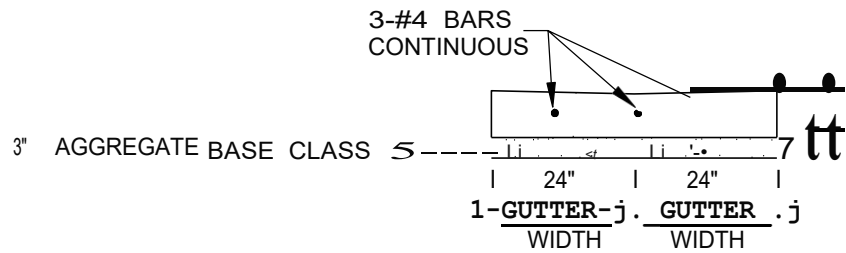
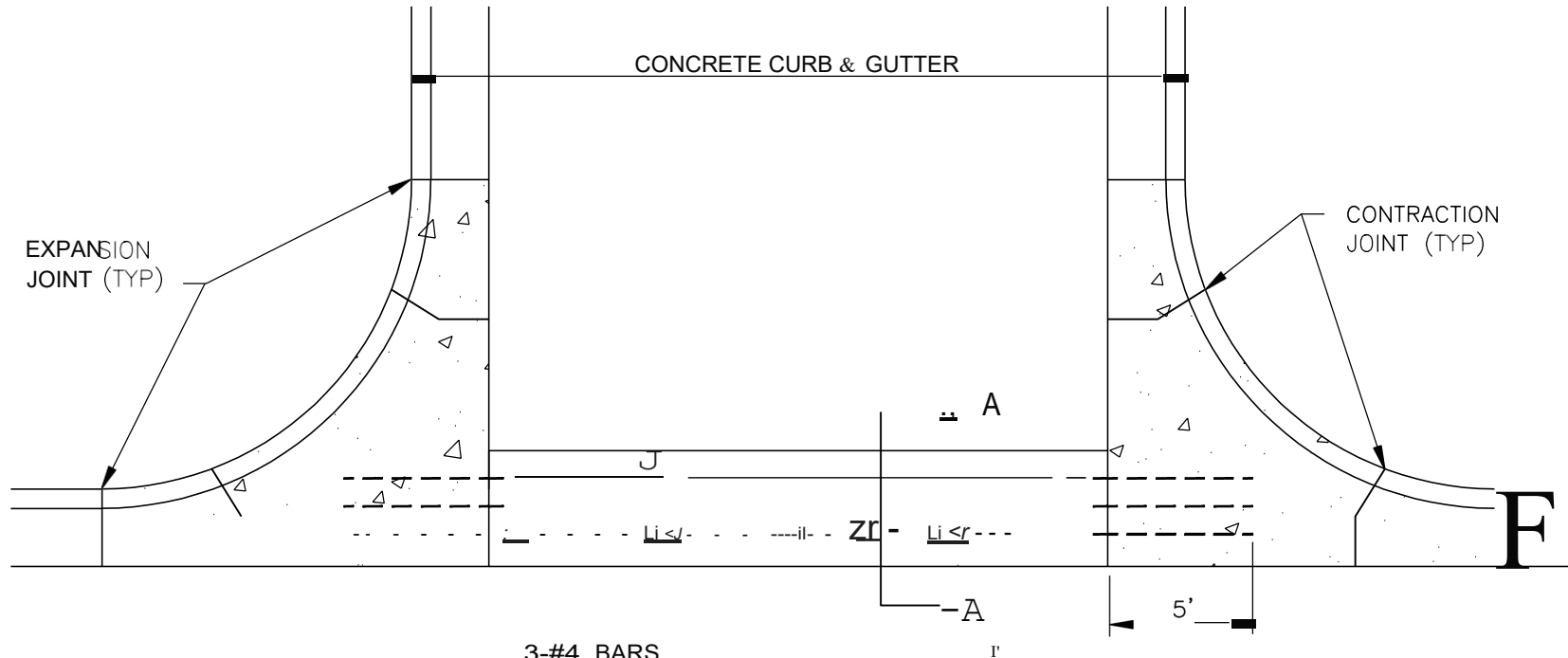
- b. The sanitary sewer service line is not shown.
    - i. Label pipe slopes and inverts, as well as cleanouts as needed.
  - c. Need a detail on the outlet control structure & call out riprap at all outlet aprons into pond and into ditch.
6. Sheet L1.1 – Landscape Plan:
- a. No tree plantings within 10 feet of sanitary or water services.

Additional Documents:

1. Easements:
  - a. Submit ingress/egress easements written for Lots 1 & 2 to each other for shared access.
2. Stormwater Modeling & SWPPP Checklist:
  - a. Submit subcatchment maps for the existing and proposed models.
  - b. Show 2, 10, and 100 year pre and post runoff rates and volumes.
  - c. Use Atlas-14 storm event modeling.
  - d. Verify ground water will be over 3-feet below the bottom of the infiltration basin.
  - e. Complete attached SWPPP checklist.
  - f. Complete Pond Management Agreement showing maintenance schedule and authorizing City access.
  - g. Submit SWPPP prior to beginning construction as over 1 acre of surface will be disturbed.

We recommend approval of the site plan once the above items are addressed and all documents have been received & reviewed.

Please contact me if you have any questions.



- NOTE:**
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

SECTION A  
**CONCRETE VALLEY GUTTER**  
 NOT TO SCALE

<b>CONCRETE VALLEY GUTTER</b>		BMI DETAIL PLATE NO: <b>7-100</b>		APPROVAL:   DATE:	DETAIL LOG	
				STDS COMM. PRING,200 \$	REVISIONS:	DATE:
PATH: Y:\7-100		REMARKS :				
ORIG. PROJ:						
PROJ. #:	ENG/ TECH :					

# OUTLOT C

EX. Mfl

IMH 1

MH 2

MH 3/

MH 6

MH 5

# OUTLOT B

# EAST DUAL BOULEVARD

### LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- EXISTING OVERHEAD(OHE) ELECTRIC LINE, POWER POLE AND GUY WIRE
- EXISTING UNDERGROUND GAS LINE
- EXISTING BURIED TELEPHONE LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED HYDRANT & VALVE
- WETLAND LIMITS

CONNECT TO EXISTING SANITARY SEWER

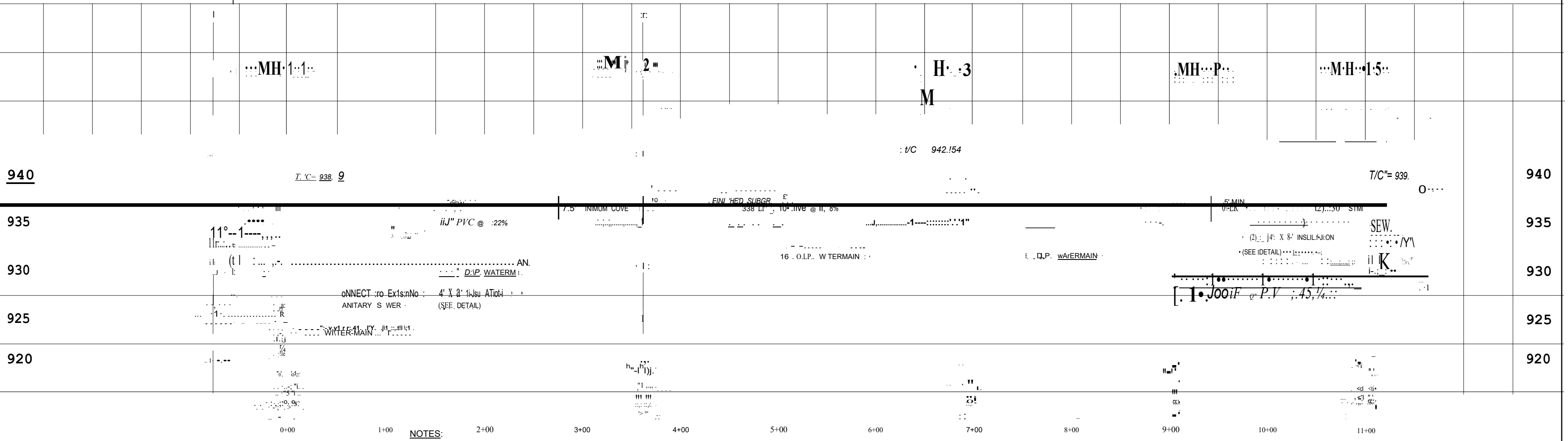
16" BUTTERFLY VALVE

NY SANITARY SEWER WITH LESS THAN 5' OF COVER SHALL BE INSULATED.

NORTH

0 25 50 100 200

NWL = 32.6' HWL = 35.5'



940

T/C = 938.9

T/C = 939

940

935

935

930

930

925

925

920

920

0+00 1+00 2+00 3+00 4+00 5+00 6+00 7+00 8+00 9+00 10+00 11+00

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE EXCAVATING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
1. ALL WATERMAIN SHALL BE DUCTILE IRON, CLASS 52, WITH 7.5 FOOT MINIMUM COVER.
  2. ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SOR 35 UNLESS OTHERWISE INDICATED.
  3. WATER SERVICES SHALL BE 6" DUCTILE IRON PIPE.
  4. SANITARY SERVICES SHALL BE 6" PVC SOR 26.

# CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004

Associates, Inc.

### Revisions

No.	Date	By	Remarks
A	01/17/05	AFK	RECORD PLAN REVISION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Jeffrey W. Roos*  
 Name: JEFFREY W. ROOS  
 Date: 3/10/03

Scale: 1" = 50'  
 License No: 10206  
 Designed: DLK

Drawn	MRD
Date	11/15/03
Checked	DLK
Approved	JJR

Mccombs Frank Roos

Engineering  
 Planning  
 Surveying

15050 23rd Avenue North, Plymouth, Minnesota 55447  
 phone 763/476-6010 fax 763/476-8532  
 E-Mail:

m  
f  
r  
a  
@  
m  
f  
r  
a  
.  
c  
o  
m

Client  
**City of Isanti**  
Isanti, MN

Project  
**2003  
Centennial  
Industrial  
Park Street  
& Utility  
Improvements**  
Isanti, MN

Sheet Title  
**Utility Plan  
& Profile**

Revisions  
|  
MFRA FILE No.: 13938

Sheet  
**7/19**



# SWPPP Checklist

## Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

---

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

---

**Yes No**

- Describe the nature of the construction activity?
- Address the potential for a discharge of sediment and/or other potential pollutants from the site?
- Propose erosion prevention and sediment control Best Management Practices (BMPs).
- Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.
- Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).
- Identify the training requirements are satisfied.
- Describe project phasing.
- Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)
- Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?
- Identify additional measures being taken to protect Drinking Water Supply Management Areas?
- If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?
- Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames.
- The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.
- The SWPPP must account for nature of stormwater runoff and run-on at the site.
- The SWPPP must account for the range of soil particle sizes expected to be present on the site.
- For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.

### SWPPP Plan Sheets

---

**Yes No**

- Existing and final grades.
- Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.
- Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.
- Impervious areas (Pre- and Post-Construction).
- Soil types.
- Locations of potential pollutant-generating activities.
- Locations of areas not to be disturbed (buffer zones).
- Tabulated quantities of all erosion prevention and sediment control BMPs.
- Location of areas where construction will be phased to minimize duration of exposed soil areas.
- Areas of steep (3:1 or greater slope).
- Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff.

### Stormwater Discharge Design

---

**Yes No**

- For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion.
- Are Temporary Sediment Basins required on site?

**Yes No**

- Adequately sized and appropriately located
- Designed to prevent short circuiting?
- Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?
- Do outlets have energy dissipation?
- Have a stabilized emergency spillway?

**Which method of permanent stormwater treatment has been selected?**

Yes No

Are calculations/computer model results included to demonstrate the design and adequacy?  
Is adequate maintenance access provided?  
Infiltration or filtration

Yes No

Is infiltration/filtration appropriate to the site and land uses?  
Phasing to ensure excavation of infiltration system after drainage area stabilized?  
Rigorous sediment and erosion controls to keep sediment and runoff away from the system?  
Is a pretreatment device planned?

Yes No

Wet sedimentation basin:

Yes No

Configured so scour or resuspension is minimized and to prevent short circuiting.  
Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond  
Basin outlets designed to prevent discharge of floatables.  
Stabilized emergency overflow.

Yes No

Regional ponds:

Yes No

Is written authorization from owner of regional pond included in SWPPP?  
Does regional pond design conform to the permit requirements for wet sedimentation basin?

**Other Requirements**

---

Yes No

Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.  
Minimize disturbance or other techniques to minimize destabilization of steep slopes.  
Has appropriate construction phasing been implemented?  
Exposed soils have erosion protection/cover initiated immediately and finished within 14 days  
Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.  
Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.  
Pipe outlets have energy dissipation within 24 hours of connecting.  
Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  
Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  
Are all inlets protected?  
Stockpiles have sediment control.  
Construction site entrances minimize street tracking.  
Plans minimize soil compaction and preserve topsoil.  
50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.  
Is a dewatering plan required?  
Storage, handling, and disposal of construction products, materials, and wastes.  
Fueling and maintenance of equipment or vehicles; spill prevention and response.  
Vehicle and equipment washing.  
No engine degreasing allowed on site.  
Containment of Concrete and other washout waste.  
Portable toilets are positioned so that they are secure.  
Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).

**Requirements of Appendix A**

Yes No

Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water?

Yes No

Stabilization initiated immediately and all soils protected in 7 days  
Provide temp basin for five acres draining to common location.  
100-foot buffer  
Other as appropriate

**Wetland Impacts**

Yes No

Does this site have a discharge with the potential for adverse impact to wetlands:

Yes No

Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, March 15, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

- 1. Meeting Opening**
  - A. Call to Order
  - B. Pledge of Allegiance
  - C. Roll Call
  - D. Agenda Modifications
  - E. Adopt the Agenda
  
- 2. Meeting Minutes**
  - A. Approval of Minutes from the February 15, 2022 Planning Commission Meeting
  
- 3. Public Hearing**
  - A. Request by Wolf River Industries/Coyote Creek Industries for approval of Site Plans under City Ordinance 445 Section 18, said request is for two industrial buildings located at 687 East Dual Blvd NE and 703 East Dual Blvd NE.
  
- 4. Other Business**
  
- 5. Discussion Items**
  
- 6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, February 15, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:13 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.  
Members Absent: Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

#### 2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8

- A. Election of 2022 Chair
- B. Election of 2022 Vice-Chair
- C. Election of 2022 Secretary  
The Planning Commission determined that the current chair, vice-chair and secretary positions will remain the same for the 2022 calendar year. The 2022 Chair position will be Mayor Jeff Johnson, the Vice-Chair Steve Lundeen, and the Secretary is the Community Development Director. Motion to elect these chair, vice-chair and secretary positions by Lundeen, second by Collison. Motion passes 6-0.
- D. Approval of Meeting Dates  
The upcoming planning commission meeting dates and calendar were approved as presented. Motion for approval by Bergley, second by Lundeen.

#### 3. Meeting Minutes

- A. Approval of Minutes from the December 21, 2021 Planning Commission Meeting  
motion by Collison, second by Bergley motion passes 6-0.

#### 4. Public Hearing

- A. Request by Kassondra Buzzell for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd. 4, said request is for a commercial building with a Drive-Thru located at PID 16.126.0070.

Saltis presented the request for commercial building site plan review and a Conditional Use Permit for a drive-thru to be located on a vacant parcel in the B-2 General Business Zoning District. Kassondra Buzzell, the applicant representing the Little North Boutique was present at the meeting and available for questions from the Planning Commission. Mayor Johnson asked the applicant how large the tenant spaces in the building will be. Kassondra explained that the three tenant spaces would be around 1,200 square feet each. Mayor Johnson also asked if the conditions of approval for the project are reasonable and can be met. Kassondra responded that they are willing to meet these conditions and that they are reasonable. There was no one from the public present for resident comments and the public hearing closed. Motion for approval of the Site Plans and Conditional Use Permit with conditions listed in the staff report dated 2-15-2022 by Lundeen, second by Bergley, motion passed 6-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Lundeen to adjourn, motion passed 6-0, meeting adjourned at 7:30 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: March 15, 2022

SUBJECT: Site Plan Review for two proposed Industrial buildings located at 687 and 703 E Dual Blvd NE

---

**Request:** The applicant, Wolf River Industries/Coyote Creek Industries is requesting site plan approval for two proposed Industrial buildings located at 687 and 703 E Dual Blvd NE.

**Overview/Background:** The applicant proposes to construct the two buildings on vacant lots located at 687 and 703 E Dual Blvd NE in the City's Industrial Park.

These are shovel ready sites and were once part of a 15.03-acre parcel until it was split into three separate 5.01-acre parcels. Wolf River Electric bought two of these parcels from the city to develop and Isanti's Economic Development Authority still owns the parcel to the south (605 E Dual Blvd NE).

These parcels are currently zoned I-1 Industrial Park District in which "Light Manufacturing" and "Warehousing" are permitted uses. Wolf River Electric intends on occupying at least 51% for their company and temporarily renting out the remaining space to tenants until expansion is needed. The two proposed buildings are intended to be 16,125 sq ft each. Floor Plans show four possible leased spaces of roughly 4032 sq ft each. The site is proposed to provide seventy-nine total parking stalls.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

### **Setbacks – Principal Building**

Minimum Front Yard Setback

There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.

Minimum Side Yard Setback                      There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.

Minimum Rear Yard Setback                      30 feet

*The proposed buildings will be located over 100 ft from the front property line and will be setback over the required 15 ft minimum for the side. The proposed buildings will meet all required setbacks for the I-1 zoning district.*

### **Easement**

An easement shall be required for the shared access to the sites and East Dual Blvd NE. Site Plans indicate that a shared property line between the two parcels separates the 30 ft drive aisle. Although the property owners are the same for these two parcels, staff recommends an easement be obtained to prevent complications if one of the properties was ever sold.

### **Impervious Surface Coverage**

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter.

*Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. The sites will consist of more than 25% green space and the landscaping requirements will be met. If future development or paving occurs on the sites, the impervious surface maximum of 75% shall be considered.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas and driving surfaces are proposed to be surfaced with a Bituminous Material. Concrete sidewalks are proposed around the perimeter of the building.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.*

### **Parking Lot Setbacks**

- Front Yard Setback                      10 feet
- Rear Yard Setback                      10 feet

- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from property lines.*

**Parking Standards**

**Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

**Industrial Uses**

Manufacturing, assembly, processing, research, experimental or testing stations	1.25 spaces for each employee on the major shift or 1 space for each 500 sq/ft whichever is greater (Ord. No. 617)
---	--

*Based on the proposed use and total square footage of the proposed buildings, 65 parking spaces are required for the two 16,125 square foot buildings. Three stalls are required to be handicap accessible based on the total number of proposed parking stalls. The site plans for the two buildings show 79 parking stalls total, in which four parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use and are compliant with ADA standards for handicap accessible stalls.*

**Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

**TABLE 9: Parking Lot and Parking Stall Dimensions**

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will have two-way traffic for the parking areas in front of the proposed building and the sides of the building. Stall dimensions are shown as 9 feet in width and 19 feet in length and follow this requirement. The drive aisle widths around both parking areas are proposed for at least 26 feet and meet the requirement for two-way vehicle circulation. These drive aisle widths are accommodating to the state Fire code where Fire apparatus access surrounding the building are at least 20 ft in width.*

## **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

### **Outdoor Lighting Standards**

*An exterior lighting plan shall be submitted that shows lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. These light sources shall meet all criteria listed in Section 14 of the City Zoning Ordinances. Freestanding light poles shall be illustrated on site plans to determine their location to ensure that the foot candles near property lines are being met.*

## **Building Design and Construction**

### Exterior Building Materials

- A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:
  - 1. Face brick.
  - 2. Natural stone.
  - 3. Glass.
  - 4. Decorative concrete block as approved by the City Council.
  - 5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
  - 6. Masonry stucco.
  - 7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
  
- B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

*Exterior building materials mostly include prefinished metal panels and roofing and a stone wainscoting surrounding the front and sides of the building. Colors for the building materials were not specified on architectural plans but will need to complement surrounding structures in the Industrial District.*

## **Screening, and Landscaping**

A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans. If outside mechanical equipment is proposed it shall be displayed on site and landscaping plans to review the location and screening from adjacent properties.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*A loading area is displayed on exterior elevations to have four garage doors located in the rear of the building facing west. There are no surrounding residential areas near the site and will not have to be shielded from view.*

## **Landscaping**

**Non-Residential Requirements:** In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

**Minimum Landscaping Requirements.** All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

**Maintenance of Landscaping.** The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

**Soil Requirements.** A minimum of four (4) inches of topsoil shall be provided upon all lots.

**Turf Requirements.** All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

### Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*The landscaping plan proposes to include small shrubs and plantings in front of the parking stalls and the front of the building facing E Dual Blvd NE. A mix of ornamental and overstory trees are proposed running parallel to E Dual Blvd NE. Sod will surround the front parking area curbing and the proposed Stormwater Pond on Lot 2. The City Landscaping Ordinance requires that the site have at least 15 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage). Lot 1 is proposed to have 19 trees across the site and Lot 2 is proposed to have 22 trees. The proposed amount of 41 trees across both sites will meet this standard.*

### Refuse and Trash Receptacle Enclosures

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.

2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*There are two trash enclosures proposed on site plans, one enclosure per building. Lot 1 proposes the trash enclosure to be located in the rear of the building on the northwest corner of the curbing. Lot 2 proposes the trash enclosure to be located near the storm pond on the south west corner of the rear curbing. The trash enclosures on the site plans show that they will be 24 ft in width, 16 ft in depth and 7 ft in height. The materials of the trash enclosure include varying corduroy and rock faced concrete blocks and will be placed on a concrete pad. The trash enclosures will need to be illuminated for the safety of employees and shown on future photometrics plans. The landscape plan shows spruce trees surrounding both of the trash enclosures for shielding from surrounding properties.*

### **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

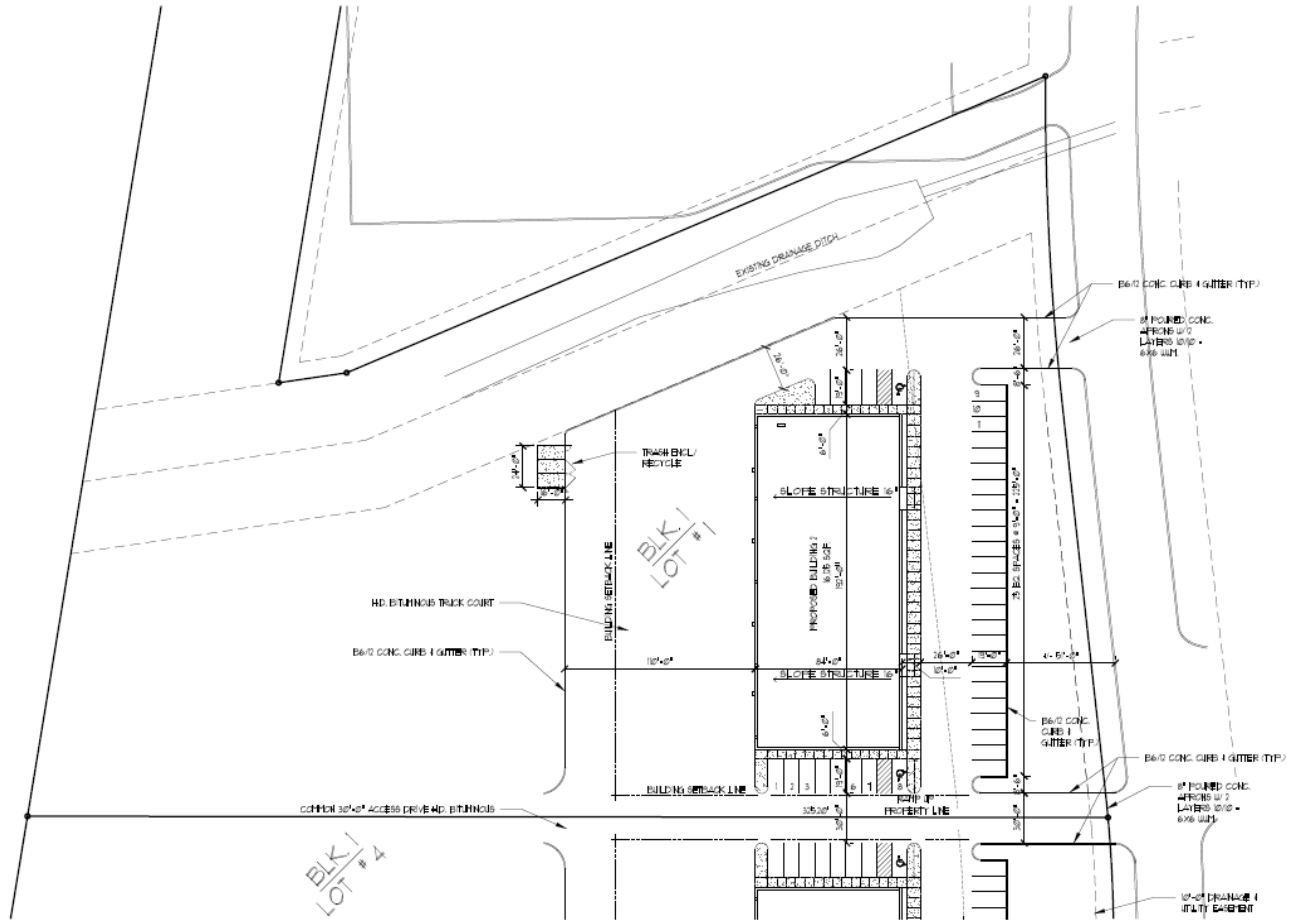
**Staff Recommendation:** Staff recommends approval of the two proposed Industrial buildings located at 687 and 703 East Dual Blvd NE with the following conditions:

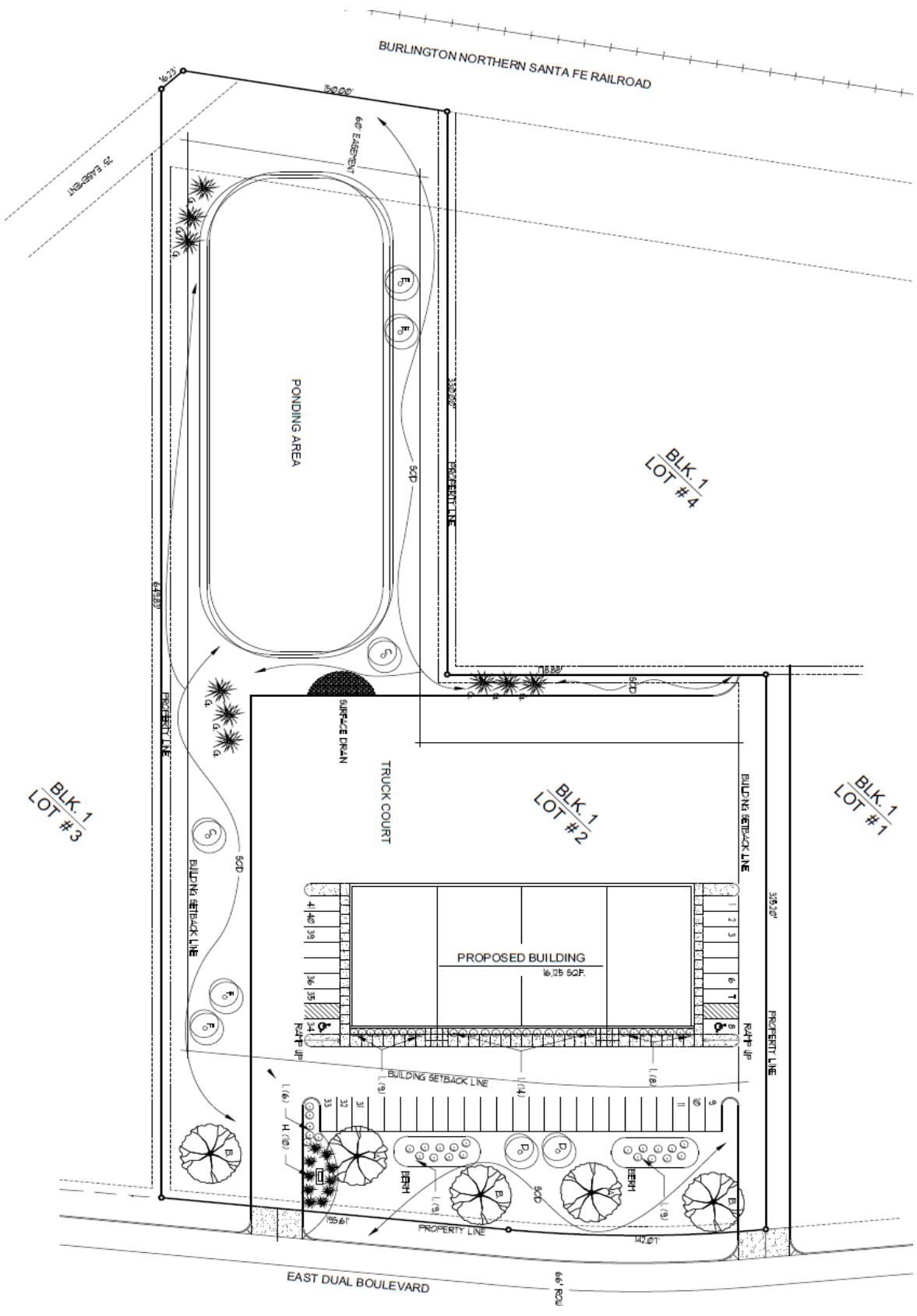
1. A photometrics plan shall be submitted to review lighting types, locations of lights and foot candle readings
2. An easement shall be obtained for the 30 ft wide shared access to both sites
3. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
4. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
5. All conditions/comments listed in the City Engineer's memos dated 3/8/2022 shall be addressed

### **Attachments:**

- Site Plans, Floor Plans, Exterior Elevations and Landscape Plans
- City Engineer's Memos Dated 3/8/2022

Site Plans



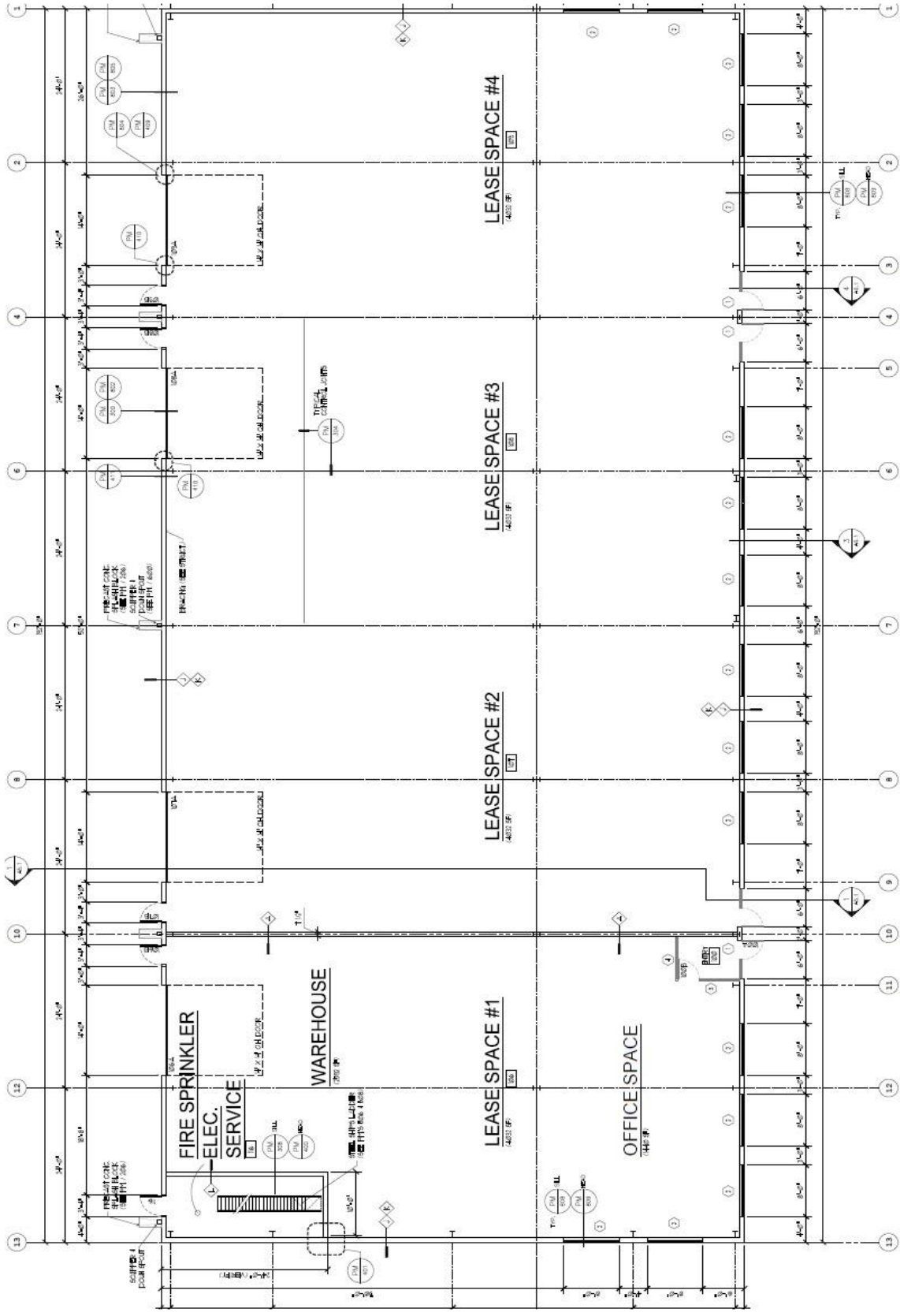


BLK. 1  
LOT # 3

BLK. 1  
LOT # 2

BLK. 1  
LOT # 4

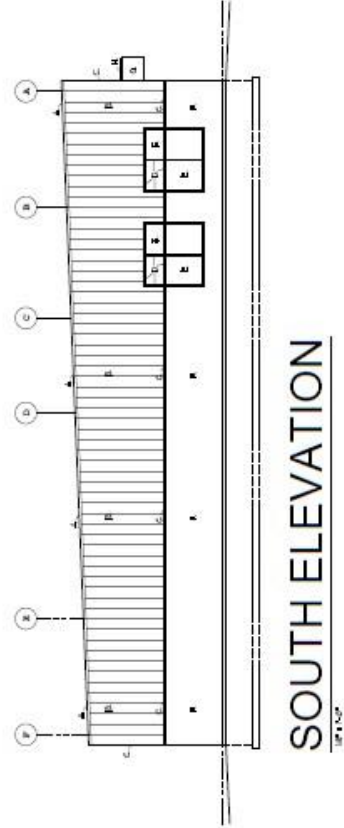
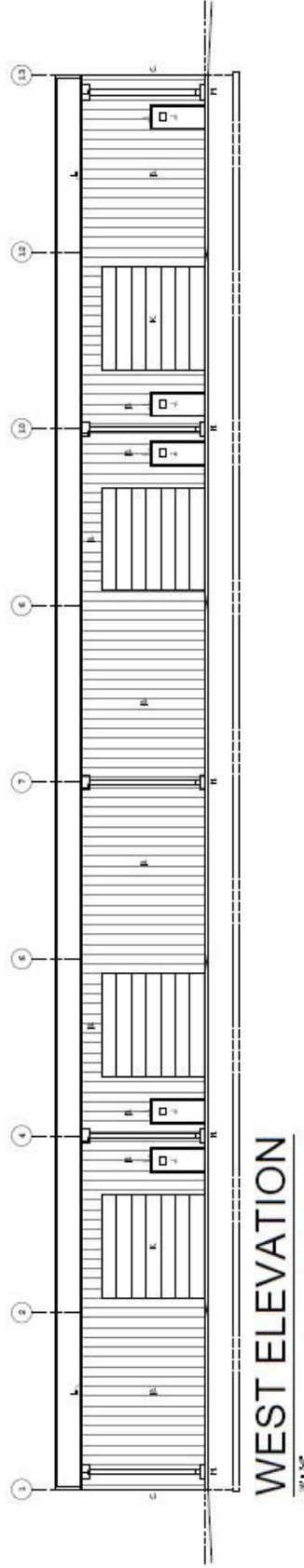
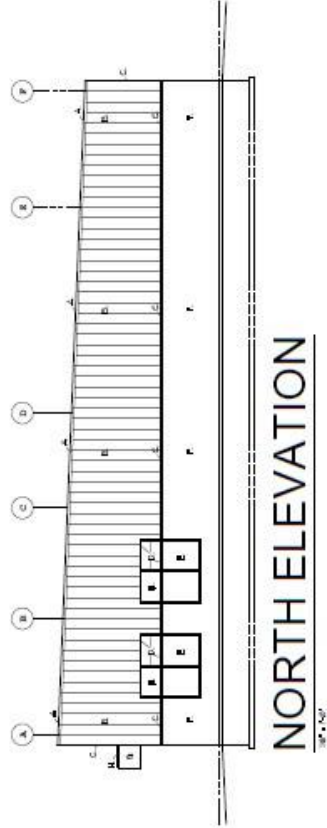
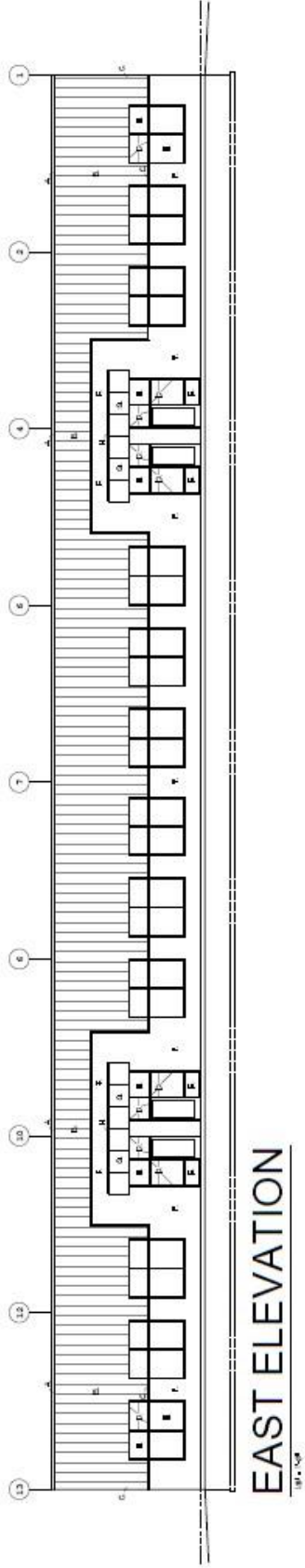
BLK. 1  
LOT # 1



# FLOOR PLAN (BUILDING #1)



1/8" = 1'-0"

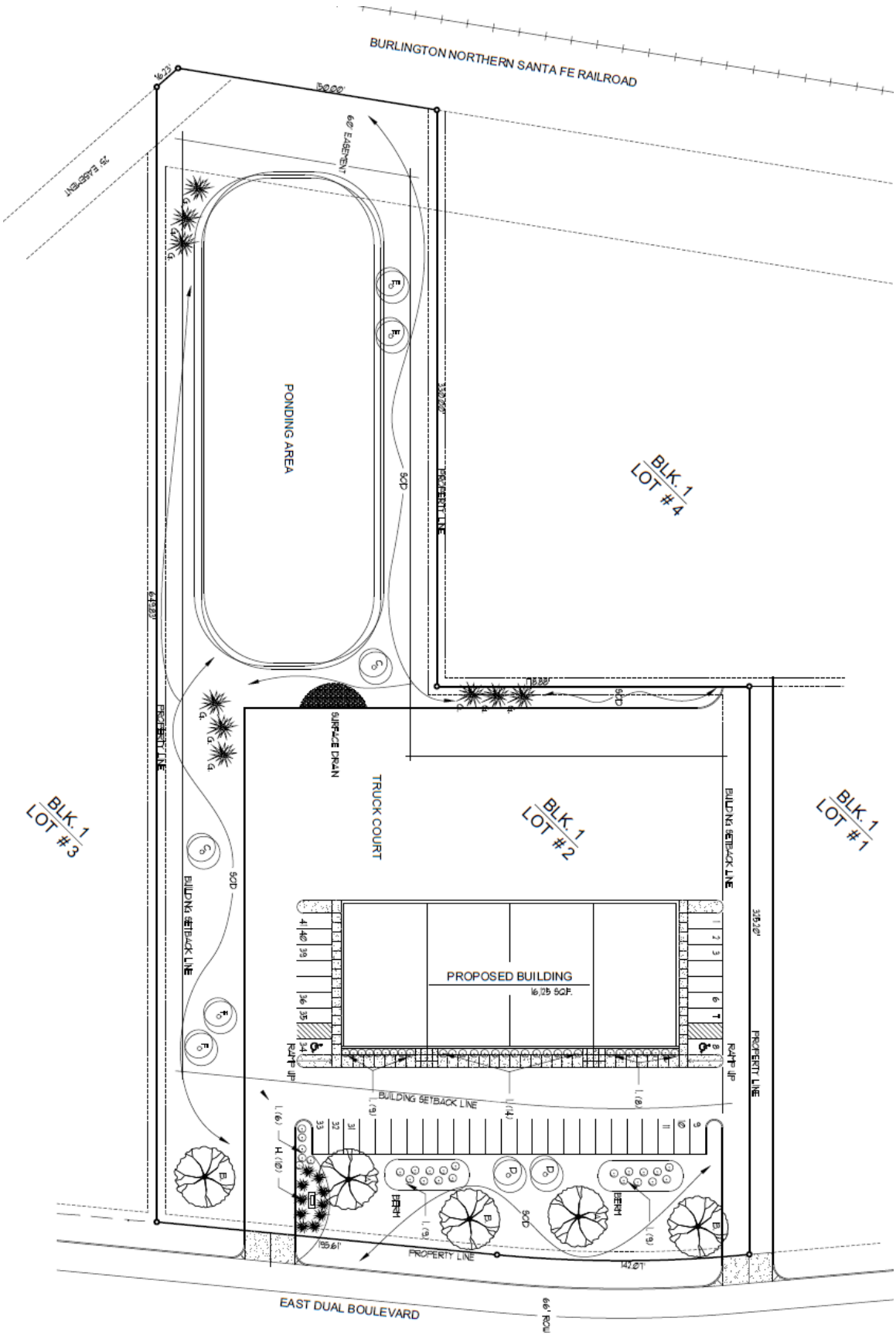


**EXTERIOR FINISH SCHEDULE**

- A. FINISH: 1/2\"/>

**EXTERIOR FINISH SCHEDULE**

- A. FINISH: 1/2\"/>



BLK. 1  
LOT #3

BLK. 1  
LOT #2

BLK. 1  
LOT #4

BLK. 1  
LOT #1

BURLINGTON NORTHERN SANTA FE RAILROAD

EAST DUAL BOULEVARD

66' ROW



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** March 8, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Wolf River Electric – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Wolf River Electric – Lot 1” with a signature date of February 18, 2022 and received on March 2, 2022.

The plan includes the construction of a new building, parking lot, pond, and storm sewer system.

An existing and proposed stormwater model has not been submitted.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C3 Civil Site Plan:
  - a. Western parking stall too short, car would be hit.
  - b. Construct valley gutter through both proposed entrances. See attached detail.
  - c. Need a 15’ ingress/egress easement from Lot 2.
2. Sheet C4 Erosion & Sediment Control Plan:
  - a. Add inlet protection on all proposed catch basins and at the next downstream catch basin along the street.
  - b. Show double silt fence along the open ditch where regrading slope.
  - c. Show construction limits.
3. Sheet C5 Erosion & Sediment Control Details:
  - a. Where does the 13” square catch basin go?
  - b. Add inlet protection details.
4. Sheet C7 – Grading Plan:
  - a. Label slope of embankment down to drainage ditch.
  - b. Show how handicap ped ramps will meet ADA design.
  - c. Show spot elevations at all grade changes on the proposed curb, with grades.
  - d. Show percent slope on the pavement surface and sidewalk.
5. Sheet C8 – Utility Plan:



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

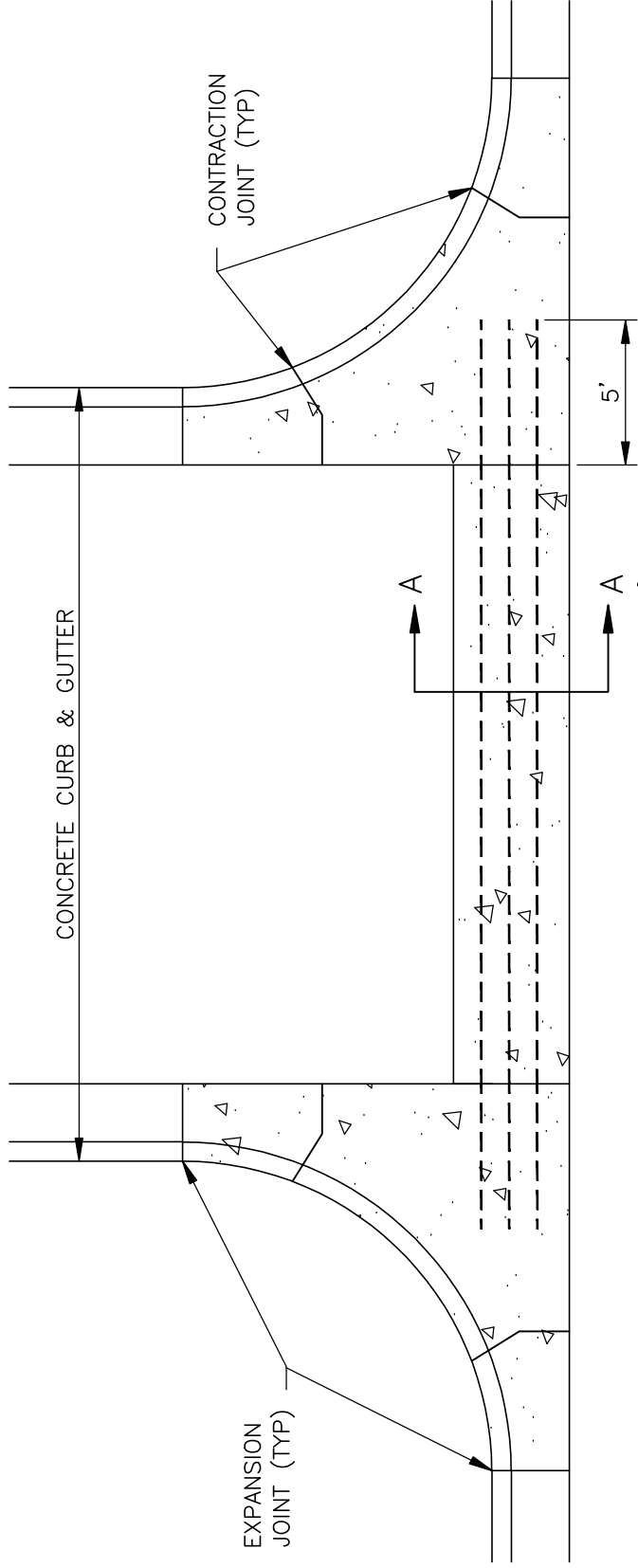
- a. Need separate sewer and water services for each tenant space if they plan to be metered separately.
  - b. A 6" PVC sanitary sewer service and 6" DIP water service are already stubbed to the property line. See attached record drawing. Connect to this service, as opposed to cutting into the street.
    - i. Label pipe slopes and inverts, as well as cleanouts as needed.
  - c. Need a detail on the outlet control structure & call out riprap at all outlet aprons into pond and into ditch.
  - d. Need utility easement covering storm pipe and pond on Lot 2 in favor of Lot 1.
6. Sheet L1.1 – Landscape Plan:
- a. No tree plantings within 10 feet of sanitary or water services.

Additional Documents:

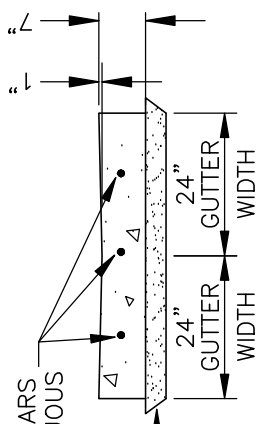
1. Easements:
  - a. Submit ingress/egress easements written for Lots 1 & 2 to each other for shared access.
  - b. Submit utility easement to Lot 1 from Lot 2 including storm pipe and covering entire pond including outlet.
2. Stormwater Modeling & SWPPP Checklist:
  - a. Submit subcatchment maps for the existing and proposed models.
  - b. Show 2, 10, and 100 year pre and post runoff rates and volumes.
  - c. Use Atlas-14 storm event modeling.
  - d. Verify ground water will be over 3-feet below the bottom of the infiltration basin.
  - e. Complete attached SWPPP checklist.
  - f. Complete Pond Management Agreement showing maintenance schedule and authorizing City access.
  - g. Submit SWPPP prior to beginning construction as over 1 acre of surface will be disturbed.

We recommend approval of the site plan once the above items are addressed and all documents have been received & reviewed.

Please contact me if you have any questions.



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER  
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REMARKS:		REVISIONS:	DATE:
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			





# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
|--------------------------|--------------------------|--|-----|----|--|--------------------------|--------------------------|--|--------------------------|--------------------------|---------------------------------------|--------------------------|--------------------------|---|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|---------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion.  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
|                          |                          | <table border="0"> <thead> <tr> <th style="text-align: left;">Yes</th> <th style="text-align: left;">No</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Adequately sized and appropriately located</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Designed to prevent short circuiting?</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Do outlets have energy dissipation?</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Have a stabilized emergency spillway?</td></tr> </tbody> </table> | Yes | No |  | <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located | <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting? | <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown? | <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation? | <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway? |
| Yes                      | No                       |  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located   |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?  |     |    |  |                          |                          |  |                          |                          |                                       |                          |                          |   |                          |                          |                                     |                          |                          |                                       |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** March 8, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Coyote Creek – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Coyote Creek – Lot 2” with a signature date of January 18, 2022 and received on March 2, 2022.

The plan includes the construction of a new building, parking lot, pond, and storm sewer system.

An existing and proposed stormwater model has not been submitted.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C3 Civil Site Plan:
  - a. Construct valley gutter through both proposed entrances. See attached detail.
  - b. Need a 15’ ingress/egress easement from Lot 1.
2. Sheet C4 Erosion & Sediment Control Plan:
  - a. Add inlet protection on all proposed catch basins and at the next downstream catch basin along the street.
  - b. Move south silt fence to not extend across drainage ditch. Also show riprap at pond outlet and silt curtain around end.
3. Sheet C5 Erosion & Sediment Control Details:
  - a. Where does the 13” square catch basin go?
  - b. Add inlet protection details.
4. Sheet C7 – Grading Plan:
  - a. Show how handicap ped ramps will meet ADA design.
  - b. Show spot elevations at all grade changes on the proposed curb, with grades.
  - c. Show percent slope on the pavement surface and sidewalk.
5. Sheet C8 – Utility Plan:
  - a. Need separate sewer and water services for each tenant space if they plan to be metered separately.



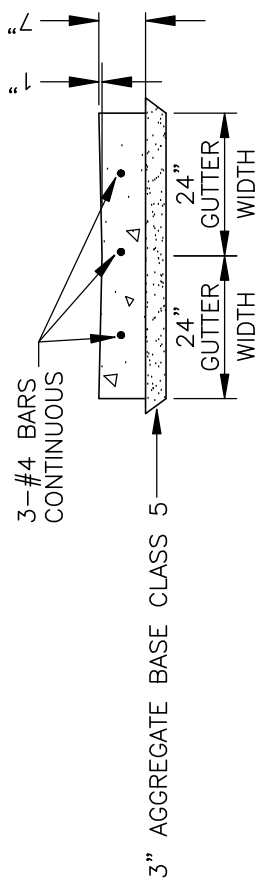
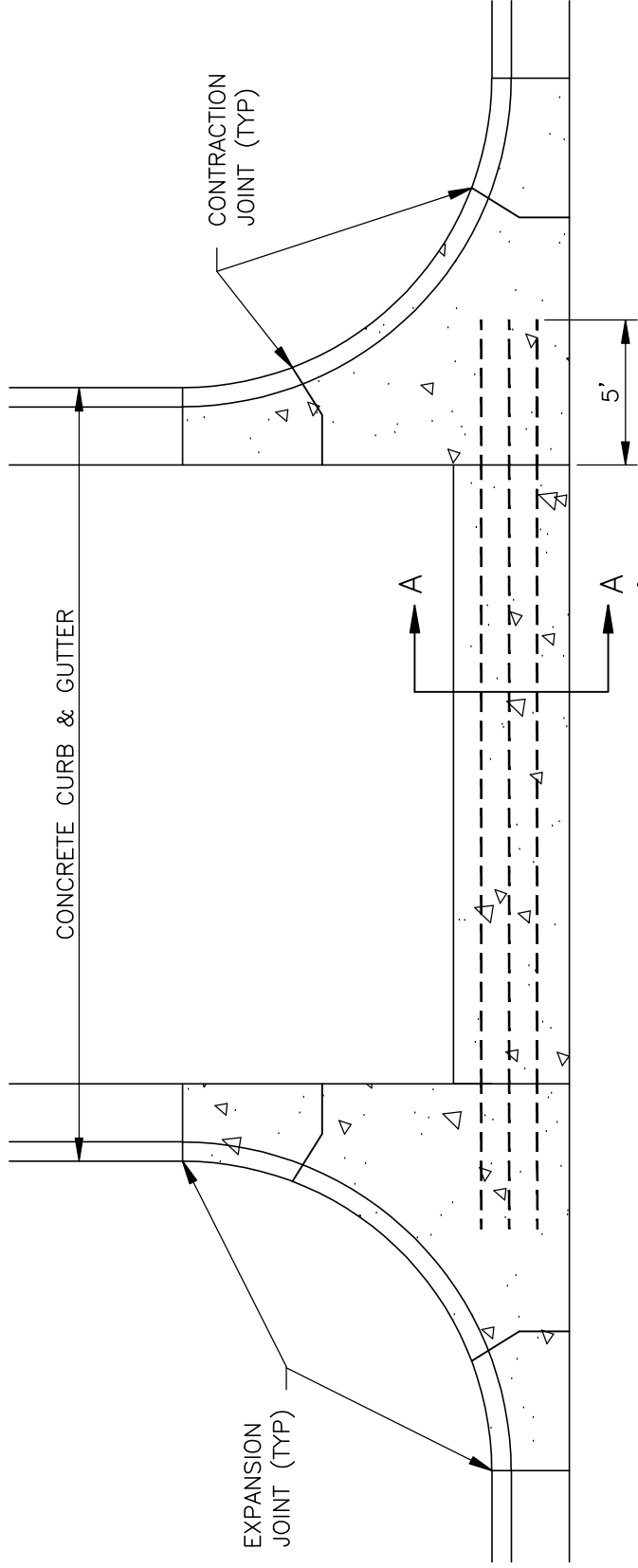
- b. The sanitary sewer service line is not shown.
    - i. Label pipe slopes and inverts, as well as cleanouts as needed.
  - c. Need a detail on the outlet control structure & call out riprap at all outlet aprons into pond and into ditch.
6. Sheet L1.1 – Landscape Plan:
- a. No tree plantings within 10 feet of sanitary or water services.

Additional Documents:

1. Easements:
  - a. Submit ingress/egress easements written for Lots 1 & 2 to each other for shared access.
2. Stormwater Modeling & SWPPP Checklist:
  - a. Submit subcatchment maps for the existing and proposed models.
  - b. Show 2, 10, and 100 year pre and post runoff rates and volumes.
  - c. Use Atlas-14 storm event modeling.
  - d. Verify ground water will be over 3-feet below the bottom of the infiltration basin.
  - e. Complete attached SWPPP checklist.
  - f. Complete Pond Management Agreement showing maintenance schedule and authorizing City access.
  - g. Submit SWPPP prior to beginning construction as over 1 acre of surface will be disturbed.

We recommend approval of the site plan once the above items are addressed and all documents have been received & reviewed.

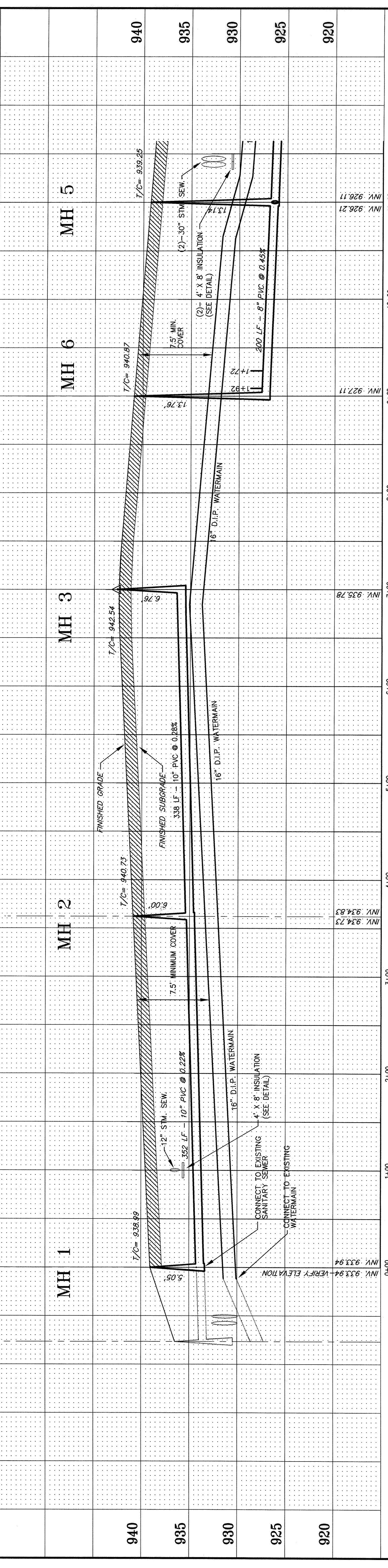
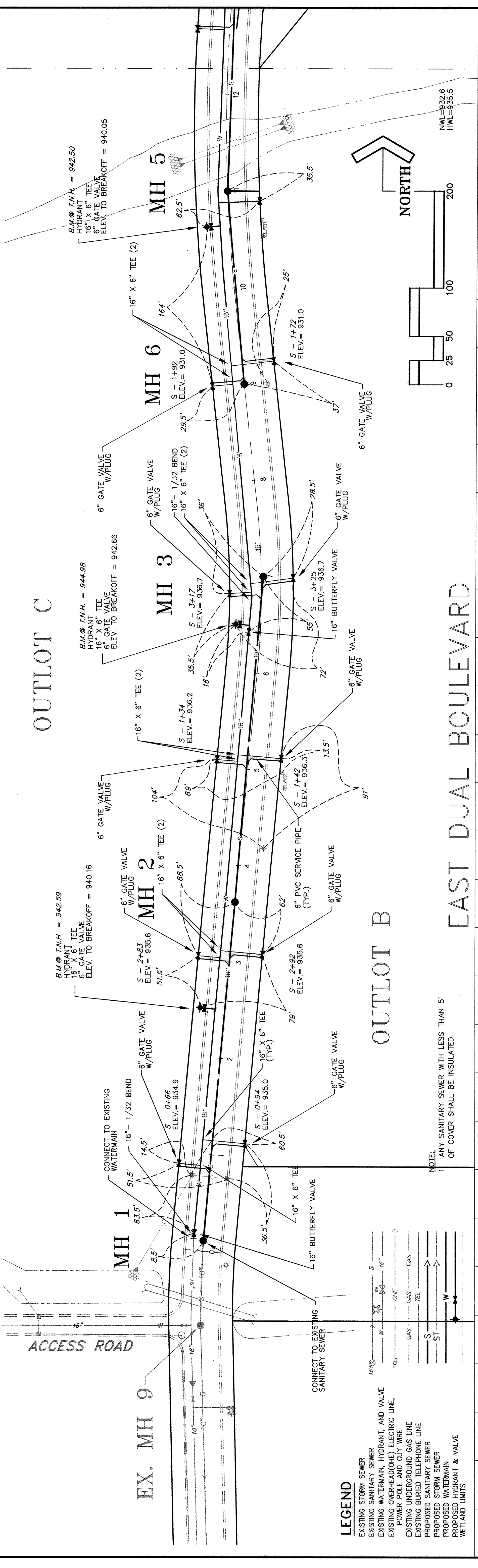
Please contact me if you have any questions.



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

CONCRETE VALLEY GUTTER  
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REMARKS:		REVISIONS:	DATE:
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			



NOTES:

- ALL WATERMAIN SHALL BE DUCTILE IRON, CLASS 52, WITH 7.5 FOOT MINIMUM COVER.
- ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35 UNLESS OTHERWISE INDICATED.
- MINIMUM COVER SHALL BE 5' FOR ALL PIPE.
- SANITARY SERVICES SHALL BE 3\"/>

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE EXCAVATING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**Revisions**

No.	Date	By	Remarks
A	01/17/05	AFK	RECORD PLAN REVISION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Jeffrey J. Roos*  
 Name: JEFFREY J. ROOS  
 Date: 3/10/03 License #: 10206

Scale: 1"=50'

Designed	DLK
Drawn	MRD
Date	1/15/03
Checked	DLK
Approved	JJR

**MFR**  
 McCombs Frank Roos Associates, Inc.  
 15000 23rd Avenue North • Plymouth, Minnesota • 55447  
 Phone 763/476-6010 • Fax 763/476-8532  
 E-Mail: mfra@mfra.com

**Client**  
 City of Isanti  
 Isanti, MN

**Project**  
 2003 Centennial Industrial Park Street & Utility Improvements  
 Isanti, MN

**Contractor: HYDROCON, INC.**

**Sheet Title**  
 Utility Plan  
 Plan & Profile

**Sheet**  
 7/19 A

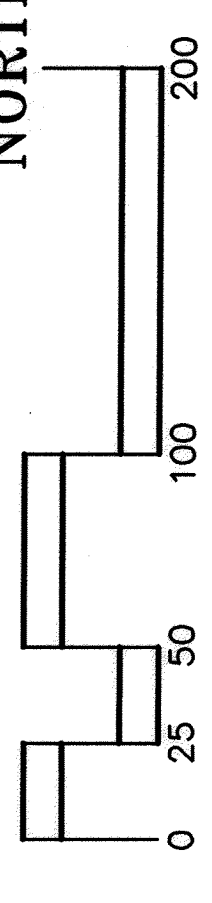
**Revision**  
 MFFRA FILE NO.: 13938

OUTLOT C

OUTLOT B

EAST DUAL BOULEVARD

CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004



**LEGEND**  
 EXISTING STORM SEWER  
 EXISTING SANITARY SEWER  
 EXISTING WATERMAIN, HYDRANT, AND VALVE  
 EXISTING OVERHEAD(OHE) ELECTRIC LINE,  
 POWER POLE AND GUY WIRE  
 EXISTING UNDERGROUND GAS LINE  
 EXISTING BURIED TELEPHONE LINE  
 PROPOSED STORM SEWER  
 PROPOSED SANITARY SEWER  
 PROPOSED WATERMAIN  
 PROPOSED HYDRANT & VALVE  
 WETLAND LIMITS

NOTE:  
 1 ANY SANITARY SEWER WITH LESS THAN 5' OF COVER SHALL BE INSULATED.



# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                          |                          | <b>Yes No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located  |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, April 19, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

Pursuant to Minn Statute 13D.02, Councilmember Gordon will be participating in the meeting from Subway, 945 Eagle Drive New Town, North Dakota 58763 due to working out of state.

The public can view the Planning Commission meeting in person or by visiting this website: <https://us06web.zoom.us/j/86888867154?pwd=K1ZkZmJucXFhOU11MTQrSCtuYmFBdz09> or by calling into this number +1 312 626 6799 US with this meeting ID: 868 8886 7154 and passcode 609000.

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the March 15, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Duane Halvorson for approval of a Minor Subdivision Plat under City Ordinance 740, said request is to split PID 16.029.2300 into three parcels.
- B. Request by Semler Construction Inc for approval of a Planned Unit Development Preliminary Plat under City Ordinance 740, said request is for a 53-lot housing development named Rum River Villas located at PID 16.111.0600.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, March 15, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:32 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison.  
Members Absent: Arissya Simon, Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 5-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the February 15, 2022 Planning Commission Meeting motion by Lundeen, second by Collison motion passes 5-0.

#### 4. Public Hearing

- A. Request by Wolf River Industries/Coyote Creek Industries for approval of Site Plans under City Ordinance 445 Section 18, said request is for two industrial buildings located at 687 East Dual Blvd NE and 703 East Dual Blvd NE.

Saltis presented the request for a site plan review of two industrial buildings for Wolf River Electric. It was explained that each building will be located on 5.01-acre parcels and will be similar in building appearance, floor plans, square footage, parking, and building orientation facing East Dual Blvd NE. It was mentioned that Wolf River Electric intends to occupy at least 51% of each building and potentially rent a portion of the building to tenants until there is a need for expansion within the company. John Waletzko of Bradbury Stamm Construction was present at the meeting representing Wolf River Electric and was available for questions from the Planning Commission. Mayor Johnson asked the representative if they intend to construct both buildings at the same time and when they would be looking to begin construction on the project. The representative explained that both of the buildings would be constructed at the same time and that they would hope to be building in the fall as long as supplies for metal aren't delayed. There was no one from the public present for resident comments and the public hearing closed. Motion for approval of

the Site Plans with conditions listed in the staff report dated 3-15-2022 by Lundeen, second by Bergley, motion passed 5-0.

5. **Other Business:** None
6. **Discussion Items:** Isanti County Commissioner Mike Warring gave the Planning Commission an update on a potential stoplight located on County Rd 5 and East Dual Blvd NE. The topic is intended to be discussed at a County Commissioners meeting later in the year.
7. **Adjournment:** Motion by Lundeen, 2<sup>nd</sup> by Collison to adjourn, motion passed 5-0, meeting adjourned at 7:50 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: April 19, 2022

SUBJECT: Request by Duane Halvorson for approval of a Minor Subdivision Plat under City Ordinance 740, said request is to split PID 16.029.2300 into three parcels.

---

### **Overview/Background:**

Discussion was had between the applicant and City Staff about splitting the 16.8-acre vacant parcel into three separate parcels. The split is intended to provide two parcels near 6<sup>th</sup> Ave NE (1.44 acres and 1.58 acres) and have a remaining 12.53 acres to the east. The objective of the lot split is to create more sellable lots for commercial purposes to the east. The applicant originally applied for a minor subdivision plat in February 2022 but was found to have discrepancies in the survey/plat that was submitted.

### **Analysis of Application**

The purpose of a Minor Subdivision Plat is for the division of land or re-subdivision, including consolidation of land and to provide an expedited procedure in limited cases where strict adherence to the standard platting process.

The Minor Subdivision Plat may be utilized where the following circumstances exist:

- A. The property to be divided will result in four (4) or fewer lots.  
*The parcel will be split into three total parcels.*
- B. The property has not previously been subject to division by either an Administrative Subdivision or Minor Subdivision Plat.  
*The vacant parcel has not previously been a part of an Administrative Subdivision or Minor Subdivision Plat.*
- C. The property to be divided is not part of a Planned Unit Development (PUD).  
*The subject parcel is not a part of a Planned Unit Development.*

- D. The newly created lots shall meet the requirements of the underlying zoning district; and shall not cause any structure on the land to be in violation of the Zoning Ordinance.  
*The underlying zoning districts include both “R-3A” Low Density Multiple Family Residential and “B-2” General Business. There are currently both of these zoning districts on one parcel with B-2 on the north near County Rd 5 and R-3A along 6<sup>th</sup> Ave NE. The parcel must be subdivided before a rezoning occurs. Currently, the proposed subdivision will meet requirements in both zoning districts and there are no structures on the vacant land which will be in violation of the Zoning Ordinance.*
- E. No variances are required to complete the subdivision as proposed.  
*No variances are needed to complete the proposed subdivision of the parcel.*
- F. All standards, requirements, and improvements required of a standard subdivision are required for a Minor Subdivision.  
*The proposed Minor Subdivision Plat has been reviewed and is compliant with these Subdivision requirements.*
- G. For residentially zoned lots, the proposed lot area of each lot within a re-subdivision or consolidation is no more than twenty (20) percent greater or ten (10) percent less than the average zoning lot area on that same frontage.  
*This requirement is not applicable to this proposal.*
- H. For residentially zoned lots, the proposed lot width of each lot is no more than twenty (20) percent greater or ten (10) percent less than the average zoning lot width on the same frontage.  
*This requirement is not applicable to this proposal.*

### ***Zoning***

The subject site is currently zoned “R-3A” Low Density Multiple Family Residential on the east and south portion of the parcel. The north portion of the parcel is zoned “B-2” General Business. If approved to split into three parcels, it is recommended that each separate parcel be rezoned in the future to achieve the end goal of creating two commercial lots near 6<sup>th</sup> Ave NE. At this time, the only consideration is to split PID 16.029.2300 into three parcels.

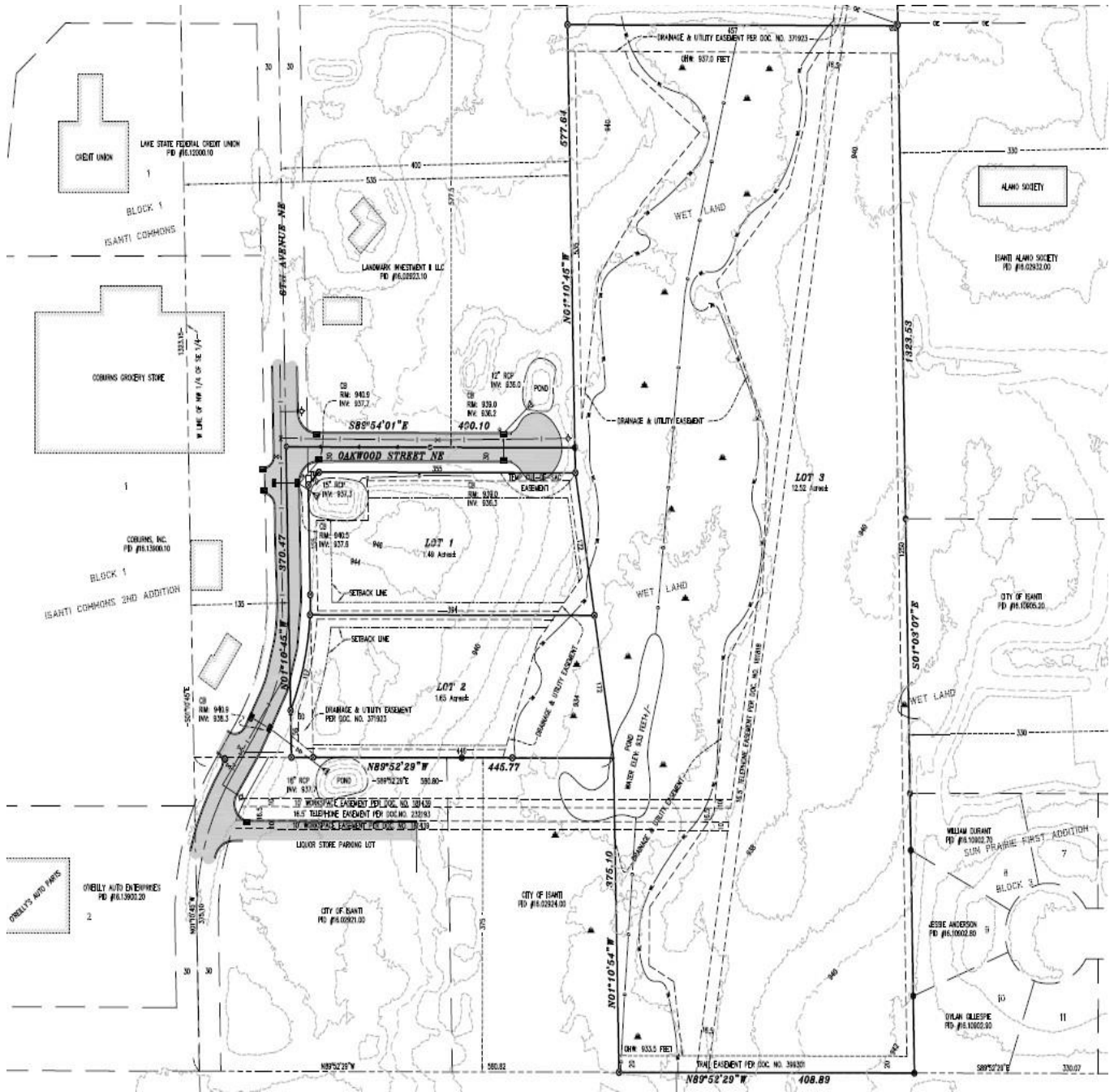
### **Staff Recommendation:**

Staff recommends approval of the Preliminary and Final Plat subject to the following conditions:

1. Address items/conditions identified in the Memorandum from City Engineer Jason Cook dated April 7, 2022 to Community Development Director Stephanie Hillesheim

**Attachments:**

- Proposed Plat
- City Engineer's memo
- Fire Chief memo
- Isanti County Highway Engineer Memo





Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** February 28, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Halvorson Acres – Preliminary Plat – 2<sup>nd</sup> Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the revised Preliminary Plat entitled “Halvorson Acres” received on February 24, 2022. The preliminary plat includes the minor subdivision of one lot into 3 smaller lots and roadway right-of-way.

We have reviewed the submitted documents and continue to have the following comments from the initial review:

Preliminary Plat:

1. Verify width of ROW required by Isanti County as well as any access requirements. Submit documentation from the County with their required ROW width and their statement on access requirements.
  - a. Submit concept roadway layout on Lot 3 based on County access requirements.
2. Submit temporary cul-de-sac easement separately for Oakwood temp cul-de-sac.
3. The south bearing & distance line along the liquor store site appears to use the new Deed description sent to the owner for signatures. This needs to be signed and returned to the City before anything can be approved.

We recommend approval of the preliminary plat once the above comments are addressed, and the additional documents are submitted and approved.

Please contact me if you have any questions.

March 30, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: Halverson Acres

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed Halvorson Acres Subdivision, PID 16.029.2300.

Isanti Fire supports the continuation as presented in the March 29, 2022 development review meeting providing that all State and City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code.*

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", is written over a light blue rectangular background.

Alan Jankovich | Fire Chief  
Isanti Fire District



**ISANTI COUNTY HIGHWAY DEPARTMENT**  
232 EMERSON STREET NORTH  
CAMBRIDGE, MINNESOTA 55008  
TEL: 763-689-1870  
FAX: 763-689-9823

**Justin Bergerson, PE**  
County Engineer

**Joe Meemken, PE**  
Asst. County Engineer

**Tim Carlson**  
Maintenance Superintendent

**Dana Erickson**  
Office Manager

## MEMORANDUM

**Date:** April 14, 2022

**To:** Tyler Kroschel, L.S.

**From:** Justin Bergerson, P.E.  
County Engineer

**Subject: Comments for Halvorson Acres – Preliminary Plat Review;  
Access to County Road 5 (Heritage Boulevard)**

The highway department has reviewed the submitted documents and have the following comments:

Preliminary Plat:

1. The right of way needs to be widened to allow for 60 feet as measured from the centerline of road traveled.
2. The preference of the county would be for lot 3 to access CSAH 5 via existing city street.
3. A driveway access is possible, it would require a right turn at minimum and possibly a left turn lane as well. Location of driveway access to be coordinated with Isanti County Highway Department before final plat recording.
4. It is not anticipated that a new city street in Lot 3 with access onto CSAH 5 would be permitted now or in the future.
5. Isanti County Highway Department access permits would be required for new entrances to the County road.

Please contact me if you have any further questions or revisions.



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: April 19, 2022

SUBJECT: Request by Semler Construction Inc. for approval for a Preliminary Plat under City Ordinance 740, said request is for a development labeled Rum River Villas located at PID 16.111.0600

---

**Request:** The applicant is requesting Preliminary Plat Planned Unit Development approval for Rum River Villas for 53 single family lots on PID 16.111.0600.

**Overview/Background:**

In 2004, a preliminary plat for the Rum River Meadows development was approved which included future single-family housing lots on the subject site: PID 16.111.0600. When the Rum River Meadows 2<sup>nd</sup> Addition Final Plat was submitted, the subject site was platted into Outlot C of the development. Preliminary plat approval is needed again due to added lots from the original approved preliminary plat and the timeline has surpassed where the original preliminary plat has now expired. Semler Construction Inc, the applicants of this proposed project, have purchased the vacant land to develop 53 single family lots.

**Analysis of Application**

The development is intended to extend Rum River Drive SW and Maplewood Ave SW to the south. The preliminary plat submitted has varying house sizes and lot sizes across a total of 14.94 acres for the vacant parcel. The smallest lot in the development is proposed to be 7,188 square ft and the largest lot is proposed at 12,025 square ft. The average lot size is 8,600 square ft. Two outlots are proposed in the southwest corner of the site. Staff recommends turning portions of these outlots into dedicated right of way to plan for future connections of roadways of surrounding properties.

### ***Zoning***

The subject site is currently zoned “R-1” Single Family Residential and is proposed by the applicants as a PUD. City staff recommends that the underlying district for this proposed development should be rezoned to “R-3A” Low Density Multiple Family Residential based on the intended lot sizes and housing types of the PUD. Minimum requirements not mentioned in this PUD Master Plan submittal would then follow the Zoning Ordinance requirements for the R-3A Zoning District.

According to the City’s Subdivision Ordinance if any zoning changes are contemplated, a proposed rezoning of the property can be reviewed and approved at the time of the Preliminary Plat Approval. The Planning Commission should discuss whether the underlying zoning district of R-1 Single Family Residential should be changed to the R-3A Low Density Multiple Family Residential Zoning District in order to better fit the lot sizes and housing types proposed for the development.

### ***Comprehensive Plan***

According to the Future Land Use Map found in the City’s 2020 Comprehensive Plan, this parcel is guided as Low Density Residential. Housing Density in this classification is 0-3 units per acre. The proposed development calls for 3.55 units per acre (53 lots / 14.94 acres). This development falls outside of the Low-Density Residential housing density of 0-3 units per acre, however the next step of Medium Density Residential housing density accommodates for 4-8 units per acre. The proposed density of 3.55 units per acre would be most consistent with the Low-Density Residential category by definition.

### ***Grading Plan/Utilities Plan/ Stormwater Plan***

The City Engineer’s memo is attached. With revisions laid out in the report, Engineering is recommending approval.

### **Staff Recommendation:**

Staff recommends approval of the Preliminary and Final Plat subject to the following conditions:

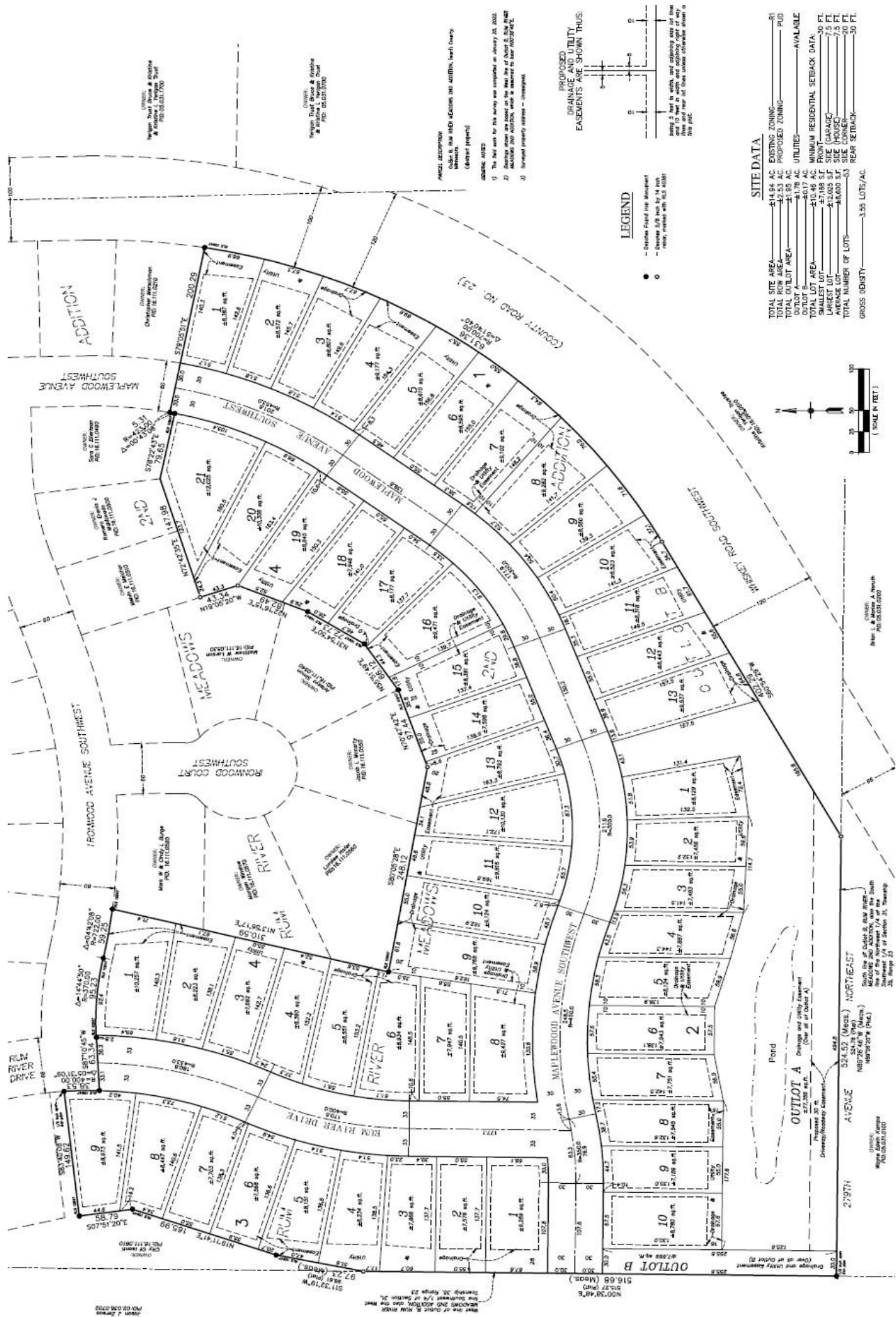
1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms of the development. Development fees will be charged to the developer based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. Any and all costs associated with the recording and processing of any agreements and Plat shall be assumed by the developer.

4. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet
Side yard setback:	7.5 feet, each side
Garage setback:	7.5 feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
5. Trees and landscaping shall be planted on each lot according to Section 15 of the City Zoning Ordinance.
6. Dedication, if required, of utility and access easements are granted to the City of Isanti.
7. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances and extend the bike trail.
8. Address items/conditions identified in the Memorandum from City Engineer Jason Cook dated April 7,2022 to Community Development Director Stephanie Hillesheim

**Attachments:**

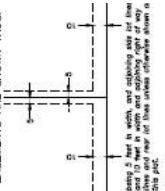
- Proposed Plat
- City Engineer's memo
- Fire Chief memo



**LEGEND**

- - Existing Piped Pipe Manhole
- - Existing 5/8 inch by 14 inch manhole, marked with NCI 40301

**PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:**



**SITE DATA**

TOTAL SITE AREA	114.84 AC	EXISTING ZONING	R1
TOTAL ROW AREA	42.53 AC	PROPOSED ZONING	PLUD
TOTAL OUTLOT AREA	1.19 AC	UTILITIES	AVAILABLE
OUTLOT B	0.617 AC	MINIMUM RESIDENTIAL SETBACK DATA:	
TOTAL LOT AREA	10.46 AC	FRONT LOT	30 FT
LARGEST LOT	17,108 SF	REAR LOT	30 FT
AVERAGE LOT	48,600 SF	SIDE (HOUSE)	7.5 FT
TOTAL NUMBER OF LOTS	21	SIDE (CORNER)	53 FT
GRID DENSITY	1.35 LOTS/AC	REAR SETBACK	30 FT

- GENERAL NOTES:**
- 1) The site work for this survey was completed on January 23, 2022.
  - 2) Boundary lines are based on the field data of JOHN S. SMITH, INC. (MAY 1997) 403020, which is deemed to be 403020472.
  - 3) Unimproved property address - Unimproved.

OWNER:  
Virginia Trust Bank & Finance  
& Trustee, L. Vernon Trust  
P.O. BOX 117000

OWNER:  
Chaparral Properties  
P.O. BOX 117210

OWNER:  
Mark L. & Anne A. Smith  
P.O. BOX 117000

OWNER:  
Meadows 2nd Addition, with the South  
Subdivision, 1/4 of Section 21, Township  
35, Range 25

OWNER:  
Meadows 2nd Addition  
P.O. BOX 117000

OWNER:  
Meadows 2nd Addition  
P.O. BOX 117000

OWNER:  
Meadows 2nd Addition  
P.O. BOX 117000

OWNER:  
Meadows 2nd Addition  
P.O. BOX 117000



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** April 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Rum River Villas – Site Plan, Stormwater Management Plan & Preliminary Plat Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan, Preliminary Plat, and Hydraulics Report all entitled “Rum River Villas” with a plan set signature date of March 11, 2022 and received at the City on March 25, 2022.

The plat includes the construction of 53 single family lots. The submitted plan set includes the extension of city streets and utilities as well as site and storm water pond grading.

Also submitted was a stormwater management plan and modeling dated March 11, 2022.

We have reviewed the submitted documents and have the following comments:

### Stormwater Management Plan:

1. What are the building low opening elevations for the 3 structures on the property south of this site? They will need to be above the proposed B-B 100yr event.
2. Confirm 279<sup>th</sup> gravel driveway will not be flooded in the 100-yr event. It appears there is a 0.5’ buffer.
3. Verify ground water elevation and percolation rate of pond and update model accordingly.

### Geotechnical Evaluation:

1. Complete soil borings and provide pavement design, ground water table, and percolation rate at the pond.

### Plan Set:

1. Sheet 3 of 8: Preliminary Plat
  - a. Change Outlot B and the 30’ roadway easement along the south side of Outlot A into 30’ wide Right-of Way. Label each ROW with street names following the naming convention in the area (alphabetical tree names)
    - i. Get signed document from resident to the south stating they have a private driveway in the City ROW that the resident is solely responsible to maintain until it is removed when the future roadway is constructed.
  - b. Change Maplewood Avenue street name to Juniper Avenue SW starting at the intersection of Ironwood Ave SW continuing south. There is already a Maplewood & Rum River drive intersection north of this site.
  - c. Submit temporary cul-de-sac easement for west end stub street.



2. Sheet 4 of 8:
  - a. Add call outs for watermain fittings, valves, hydrants etc.
    - i. Add valves at intersections one less valve per leg of watermain pipe.
  - b. Add profiles showing watermain, sanitary, and storm sewer sizes, depths and grades.
  - c. Add proposed street profiles grades and vertical curve call outs.
  - d. Add intersection details showing grade through curb radii.
  - e. Add storm leads sheets showing all proposed pipes and structures
  - f. Add all sanitary sewer services and water services to plans, call out invert at ROW and grade of service pipe.
  - g. Extend 10" watermain to the west dead end.
  - h. Sidewalk should run 6' from back of curb.
    - i. Remove ped ramp to south in the NW quadrant of Maplewood & Rum River Drive.
  - i. Trail should run 2' from ROW line.
3. Sheet 5 of 8:
  - a. Trail should run 2' off the ROW line.
  - b. Add concrete pedestrian ramp with truncated domes at the South Passage Intersection. Add cross walk blocks and stop bar as well. Relocate stop sign to the west side of the new crosswalk.
4. Sheet 6 of 8:
  - a. Will the existing storm apron that catches the county ditch at the SE corner of the site have adequate cover to the trail, and fit the trail side slope as to not drop off at the trail edge?
  - b. Will the pond be a wet pond with a NWL as called out on plan? Or an infiltration basin? Get soil boring to determine groundwater level. If wet pond, will need to have 10' bench and dead storage per design requirements.
5. Sheet 7 of 8:
  - a. Add the following details:
    - i. Proposed structures, hydrant with gate valve, sewer and water service leads, surmountable curb ("Edina style")
    - ii. Trail section shall be 2.5" SPWEA240B with 4" CI 5 base.
    - iii. Revise typical sections to show walk 6' from back of curb.
6. Sheet 8 of 8:
  - a. Provide wall anchor design and detail of wall type, footing and drain layout.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

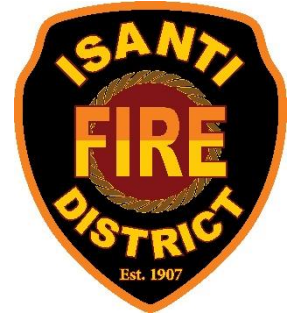
7. Sheet L1 of 2:
  - a. Verify no trees will be planted within 10 feet of proposed pipes or in easements.
8. Add the following table to the plan set:
  - a. Show elevation of proposed low floor and low opening if each lot.
  - b. Show sewer service invert at right of way. Verify all 4-inch services can be installed at 1.5% minimum grade and still service all proposed building elevations.
  - c. Show elevation of 2-feet above the B-B 100-year event at each parcel along pond. Verify low opening elevation is at least 2-feet above the B-B 100-year flood elevation.
  - d. Show elevation of 1-foot above the emergency overflow at each parcel including back yard inlets. Verify low opening elevation is at least 1 foot above emergency overflow elevation.
9. Add a signage and striping plan. Show cross walks at all ped ramp crossings with stop bar. Show cross walk sign with arrow at the non-stop condition crossing.
  - a. Show two permanent type-III barricades at the west end of stub street.
  - b. Show street name signs at intersection and at Maplewood street name change near trail crosswalk.
10. Add lighting plan.
11. Fill out SWPPP checklist (attached)
12. Submit specifications.
13. Submit construction cost estimate.

We recommend requiring the additional submittal documents be submitted for review and approved prior to approval of a development agreement.

Please contact me if you have any questions.

March 30, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: Rum River Villas

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed Rum River Villas plat, PID 16.111.0600.

Isanti Fire supports the continuation as presented in the March 29, 2022 development review meeting providing that all State and City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code.*

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a light blue rectangular background.

Alan Jankovich | Fire Chief  
Isanti Fire District



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, May 17, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the April 19, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Black Moon Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 401 E Dual Blvd NE
- B. Request by Idle Hands Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 303 Credit Union Dr NE
- C. Request by the Economic Development Authority of the City of Isanti to vacate certain drainage and utility easement dedicated to the City of Isanti. The legal descriptions of certain drainage and utility easement; which are subject of the vacation herein include:

The drainage and utility easement, as dedicated and delineated within Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota.

- D. Request by the Economic Development Authority of the City of Isanti for a Preliminary Subdivision Plat, pursuant to City Ordinance 740, to split PID 16.09.00140 into 5 parcels, located in the I-1 Industrial Park Zoning District.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, April 19, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:52 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.  
Members Absent: Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, Finance Director Mike Betker, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the March 15, 2022 Planning Commission Meeting motion by Lundeen, second by Simon motion passes 6-0.

#### 4. Public Hearing

- A. Request by Duane Halvorson for approval of a Minor Subdivision Plat under City Ordinance 740, said request is to split PID 16.029.2300 into three parcels.  
Saltis presented the request for a Minor Subdivision Plat for Halvorson Acres. It was explained that the current vacant parcel of 16.8 acres is proposed to be split into 3 separate parcels with two of these parcels of roughly 1.5 acres near 6<sup>th</sup> Ave NE and the remaining 12.5 acres to the east. The objective of the lot split is to provide two developable parcels near 6<sup>th</sup> Ave NE and rezone to commercial sites. A representative of the applicant, Grant Lindberg was present at the meeting and available to answer questions regarding the plat. Lindberg explained that he is working with surveyors to correct comments made by the city engineer and give legal access to the parcels. Lundeen asked what Lot 3 is intended to be in the future. Lindberg said that this parcel has underlying issues as far as wetlands, buried fiber optic cables, and access issues onto the county highway to the north of the site. He pointed out that with the large easements and delineated wetland area, the usable lot area is minimized.

There was no one from the public present for resident comments and the public hearing closed. Mayor Johnson pointed out that the city has always been willing to help land owners sell or develop their property. Motion for approval of the Minor Subdivision Plat with conditions listed in the staff report dated 4-19-2022 by Lundeen, second by Bergley, motion passed 6-0.

B. Request by Semler Construction Inc for approval of a Planned Unit Development Preliminary Plat under City Ordinance 740, said request is for a 53-lot housing development named Rum River Villas located at PID 16.111.0600.

Saltis presented the request for a Planned Unit Development for Rum River Villas. Mayor Johnson opened the public hearing. A surrounding property owner, Monroe Lindgren of 27830 University Ave NW asked if the roads platted in the original preliminary plat are null and void. It was explained that these roads have been adjusted slightly from the original plat and there may have been some preliminary grading of these roads in the past based on the county map shown. Lindgren asked if there would be another access to the county road from the future development. City staff pointed out that there will not be another access to the development at this time, but are asking the applicants to plat a right-of-way on the south border in case the driveway becomes a road in the future.

Kurt Carpenter, a family member of a resident at 1300 Maplewood Ave SW asked if the preliminary plat extended the existing street of Maplewood Ave to the south. Staff confirmed that the street network will extend south and meet in a “U” shape to the south. Carpenter commented on the high amount of housing units proposed on the plat, that the houses would be right on top of each other.

Jason Zerwas, a resident at 27900 University Ave NW was wondering what Outlot B is intended to be on the plat. Saltis explained that this outlot is suggested to be platted as Right of Way in case the land to the west developed, and the parcel would not be landlocked. CD Director Hillesheim mentioned that this outlot is giving half of a right of way and the other half would come from the surrounding property if it is developed.

Planning Commission Member Arissya Simon mentioned that she has comments from her and her neighbors regarding the development. Arissya commented she has concerns of the lot sizes being inconsistent with the rest of the Rum River Meadows development and that there are currently no lots on this side of town with lot sizes this small. Arissya also commented that the original preliminary plat was shown to have less houses than the proposed plat and that there will be added traffic to the neighborhood.

Jake McCarty, a resident at 1307 Ironwood Ct SW wrote a letter to be read at the Planning Commission Meeting. The letter mentioned that the density proposed reflected a district that is closer to amenities or a downtown district. The vacant land in question is currently zoned R-1 and the proposed plan exceeds the density range of 0-3 units per acre for this zoning district. The letter mentioned cause for concern for the safety of Whiskey Rd SW and that a need for a roundabout on this section of road

might be inevitable. Having several more neighbors would also result in needing fencing and more property line agreement forms from new homeowners.

Dan Peterson, a resident of 1206 Maplewood Ave SW commented on the speed limits of the County Rd and the safety of the neighborhood with added traffic. Mayor Johnson pointed out that the City Council has discussed the speed on Whiskey Rd a few times but that consulting a traffic study could ultimately raise the speed limit instead of lowering it.

Mayor Johnson closed the public hearing. Mayor Johnson stated that he believes that the proposed plat is too many homes for the area. The original preliminary plat showed 36 homes on larger lots. Mayor Johnson asked staff if there were any other housing developments with similar lot sizes in the city. City staff pointed out that there are at least three areas which have lot sizes similar to what is being proposed, in Heritage Estates, Villages on the Rum and Moline Loop. Saltis pointed out that the applicants are proposing 7.5 ft side setbacks and there are areas in the city which have been approved for 5 ft side setbacks. Mayor Johnson pointed out that the original preliminary plat guidelines are more in line with what should be done with the land, with larger lot sizes and setbacks. Planning Commissioner Collison pointed out that these are the new land owners proposing the plat and not the original developers who created the plan for the 36 single family lots.

Arissya commented that when she and her neighbors purchased their homes around 2017 on the cul-de-sac, they were shown the original preliminary plat of the development and told that it would happen in roughly 5 years. Mayor Johnson said it seems deceiving if these homeowners were told one thing and then will end up with something completely different.

Mayor Johnson asked if Jimmy Gordon had any input on the proposed development. Jimmy stated that he would have to side with the property owner in that they should be able to do what they want with the land. Jimmy pointed out that the housing market has changed a lot from 2017 when the houses were being sold on Ironwood Ct, and now the housing types proposed are selling faster to a different demographic of people. Jimmy explained that personally he would like to see larger lots similar to existing houses in the area but in the end, he says that he wouldn't let that fact get in the way of letting the property owner do what they see best fit with the land.

Steve Lundeen pointed out that he would not like to see so many homes proposed on this land. The other lots in the area were set to specific standards in which they must abide by, meaning they should be held to the same standards. Steve also stated that the increased traffic in the area is not safe for kids in the neighborhood.

Mayor Johnson reiterated that he would not like to see 53 houses crammed on this land, and that it is too dense. He stated that 25-30 houses seem more reasonable based on the area.

Brian Krystofiak from Carlson McCain, a representative of the applicant and Patty Koljonen of Semler Homes were both present at the meeting and available for questions from the Planning Commission. Brian stated that he understands that the

land was originally platted for 36 homes in an R-1 District, but the plat has expired since it was approved back in 2004. Brian mentioned that the reality of today's housing market is much different in that they don't do many 80 ft wide lots anymore because of feasibility of the projects based on costs. Mayor Johnson asked Planning Commission members who live in that neighborhood when their houses were built. Simon and Lundeen commented 2017 and 2018. Brian asked if these houses were part of a new development. Mayor Johnson responded by saying that they were part of a new development and were easy to sell. Brian said that there is a big difference in the housing market from 2018 to today.

Planning Commission Member Bergley mentioned that he believes that if they were proposing 25-30 houses it would seem a little low and that he would like to see the original number of lots as was shown on the original preliminary plat. Bergley agreed with the Planning Commission that he believes 53 houses is too much for the area.

Brian asked if there could be a happy medium if they discussed with staff. He mentions that the product that the builder offers wouldn't make sense to have the same size lots as the rest of the area. Mayor Johnson stated that he would beg to differ with Brian's statement and that if they build it, they will come. Arissya mentioned that as of right now the housing market might demand these types of houses but the market has been changing year to year. She stated that she could speak for most of the people in the cul-de-sac in that they knew a development would happen, but were prepared for a 35-house development or something similar and not a 53-house development. Mayor Johnson said that if he had bought a house in the existing surrounding development, he would feel deceived.

Mayor Johnson asked city staff what direction the Planning Commission needs to take for the proposed development. CD Director Hillesheim said that the Planning Commission needs to take action or give a recommendation for the proposed preliminary plat. Mayor Johnson asked if it is feasible that they take a step back and revisit this. Hillesheim answered that it is possible to postpone if that is the Commission's recommendation. Mayor Johnson asked Brian if they can work with city staff to come up with a plan that better fits the concerns of the public and the Planning Commission. Brian said that it would be possible to work with staff to accomplish this.

Planning Commission member Collison requested to keep the zoning district R-1 similar to the houses surrounding it. Bergley made a motion to table the proposed preliminary plat and was seconded by Collison. The motion to table the proposed preliminary plat was passed 5-0. Simon abstained her vote.

**5. Other Business:** None

**6. Discussion Items:** None

7. **Adjournment:** Motion by Lundeen, 2<sup>nd</sup> by Bergley to adjourn, motion passed 6-0, meeting adjourned at 9:00 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

DRAFT



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: May 17, 2022

SUBJECT: Interim Use Permit to operate a Tattoo Parlor in the B-2 General Business District located at 401 E Dual Blvd NE, Ste 122

---

**Overview/Background**

City staff was notified of a tattoo shop operating inside the Dual Square Mall located at 401 E Dual Blvd NE. Staff was able to get ahold of the owners of the shop, and notify them that they will need an interim use permit to operate a tattoo parlor in this location.

The owners of Black Moon Tattoo cooperated with City Staff and submitted an Interim Use Permit in order to be compliant with City Zoning Ordinances. The applicant also submitted a letter to the city which is attached to this memo as an exhibit.

**Analysis of Application**

*Zoning:* The subject property is located at 401 E Dual Blvd NE, and is part of the Dual Square Mall. This property falls within the “B-2” General Business District. Within the zoning ordinances for this zoning district, a ‘Tattoo Parlor’ is considered an Interim Use.

Section 21, Article 3, Subd. 5 addresses criteria for granting an Interim Use Permit. The standards for an IUP are listed below with staff comments *Italicized*:

The Planning Commission and City Council shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding properties. The Planning Commission and City Council shall consider and make findings regarding the following factors:

- A. The proposed use shall meet the applicable zoning regulations  
*The proposed Tattoo Parlor is not expected to negatively impact the health, safety, and general welfare of occupants of surrounding properties.*
- B. The proposed use will not adversely impact implementation of the Comprehensive Plan  
*The inclusion of a Tattoo Parlor within the Dual Square Mall does not limit or adversely impact the implementation of the Comprehensive Plan.*

- C. The proposed use will terminate upon a date or event that can be identified with certainty *The Planning Commission and City Council shall set a reasonable timeline in which the proposed Interim Use Permit would expire. Staff suggests that the Interim Use Permit will expire in 3 years, which is consistent with other Tattoo Parlor IUP's in the city.*
- D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future; and *The Tattoo Parlor will not impose additional future costs on the public since it is within the Dual Square Mall.*
- E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit; and *Black Moon Tattoo has signed a lease with the owners of the Dual Square Mall which will expire at the end of 2022. Black Moon Tattoo will have to renew the lease with the Dual Square Mall in order to keep the proposed Interim Use Permit, IUP's don't transfer with the business if they were to move locations.*
- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use.  
*Black Moon Tattoo will be expected to meet any conditions set by the property owner, Planning Commission and City Council in order to operate their business in this location.*

**Subdivision 6: Conditions of Approval**

In permitting a new interim use permit or amending an existing interim use permit, the Planning Commission may recommend and the City Council may impose, in addition to the standards and requirements expressly specified by this section, additional conditions which the Planning Commission and/or City Council consider necessary to protect the best interest of the surrounding area or the community as a whole. These conditions may include, but are not limited to, the following:

- A. Increasing the required lot size or yard dimensions;
- B. Limiting the height, size, or location of buildings;
- C. Controlling the location and number of vehicles access points;
- D. Increasing the street width;
- E. Increasing the number of required off-street parking spaces;
- F. Limiting the number, size, location or lighting of signs;
- G. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property;
- H. Designation of open space;
- I. Obtaining the necessary licenses as required by the City of Isanti, Isanti County or State of Minnesota;
- J. Restrictions on the hours of operation;
- K. Exterior lighting is limited to protect adjacent or nearby property;

- L. Controlling architectural appearance and functional design of the building or site;
- M. Applicable performance standards of the zoning district in which such use is located are met and nonconformities are eliminated;
- N. Annual review, if deemed appropriate by the City Council.
- O. Any additional stipulations, pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public, health, safety, and welfare, can be served as well or better by modifying or expanding upon the conditions set forth herein.

*City staff does not expect there to be site issues resulting in the Tattoo Parlor's business operations since it is located within the Dual Square Mall and the site has been previously designed to accommodate for tenants in this building. The floor plans show two procedure rooms, a lobby and an office and is not intended to hold many occupants at once, as most clients are encouraged to schedule appointments online or over the phone. The only expected changes to the building or site would be potential signs that are on the building or within the windows of the business. City Staff suggests that the applicant submit a sign permit and follow City Zoning Ordinances Section 16: Signs, if there is any proposed signage added for advertisement of the business.*

### **Staff Recommendation**

Staff recommends approval with the following conditions:

- 1) Any applicable licensing and permits shall be obtained from the proper City, State, County, and Federal Governments as deemed necessary.
- 2) Signage to be applied for and reviewed by the city prior to installation.

### **Attachments**

- Applicant Letter
- Floor Plans

I am entirely new to owning a business. I was initially unaware that body art establishments needed a city permit in district B2. I thought I had checked the zoning laws. But, when I submitted my State Establishment License Application, I quickly learned that I was mistaken, and that I needed an interim usage permit from the city. I apologize for doing this in the incorrect order. I want to make sure I'm doing everything properly.

My interest is to operate a "Tattoo Parlor" in suite 122 of the Dual Square Mall, as semi-private tattoo studio, and art studio. That means we would be a small studio that will be open to the public, but we prefer all client inquires and appointments be made online or over the phone. It will only be myself and one other technician. We don't do piercings, or any other body modifications. We will also have our paintings and other artwork on display inside the shop, such as realistic wildlife art that my relatives paint.

My family and I reside locally and have lived in this area most our lives. Hannah, the other artist that will work here, is also an Isanti local as well. I have been tattooing 12 years and have worked in many high-end tattoo studios around the Northern Metro. I've won numerous awards for my art. I have a long list of clients that travel from all over the state, and some from out of state. The other artist that will work along with me will be handling most the requests from new, local patrons.

I am married and have 3 children. I don't fit the negative stereotype that is sometimes associated with tattoo artists, nor will my shop resemble that in any way. My clients are all respectable adults. My focus is on art and professionalism. I believe I will bring a positive business presence to Isanti. I would be happy and willing to participate in any local business events or organizations. I've met many of the nearby business owners and employees. They are all very friendly people, and say they're excited to see a tattoo shop in the building.

My lease for this space with Bullseye Properties expires on 12-31-2022. I haven't decided whether I would want to stay here or move to a bigger space at that time, so I believe it would make sense to request an interim permit until that date. If I wish to stay in this location past that date, I can reapply prior to that time.

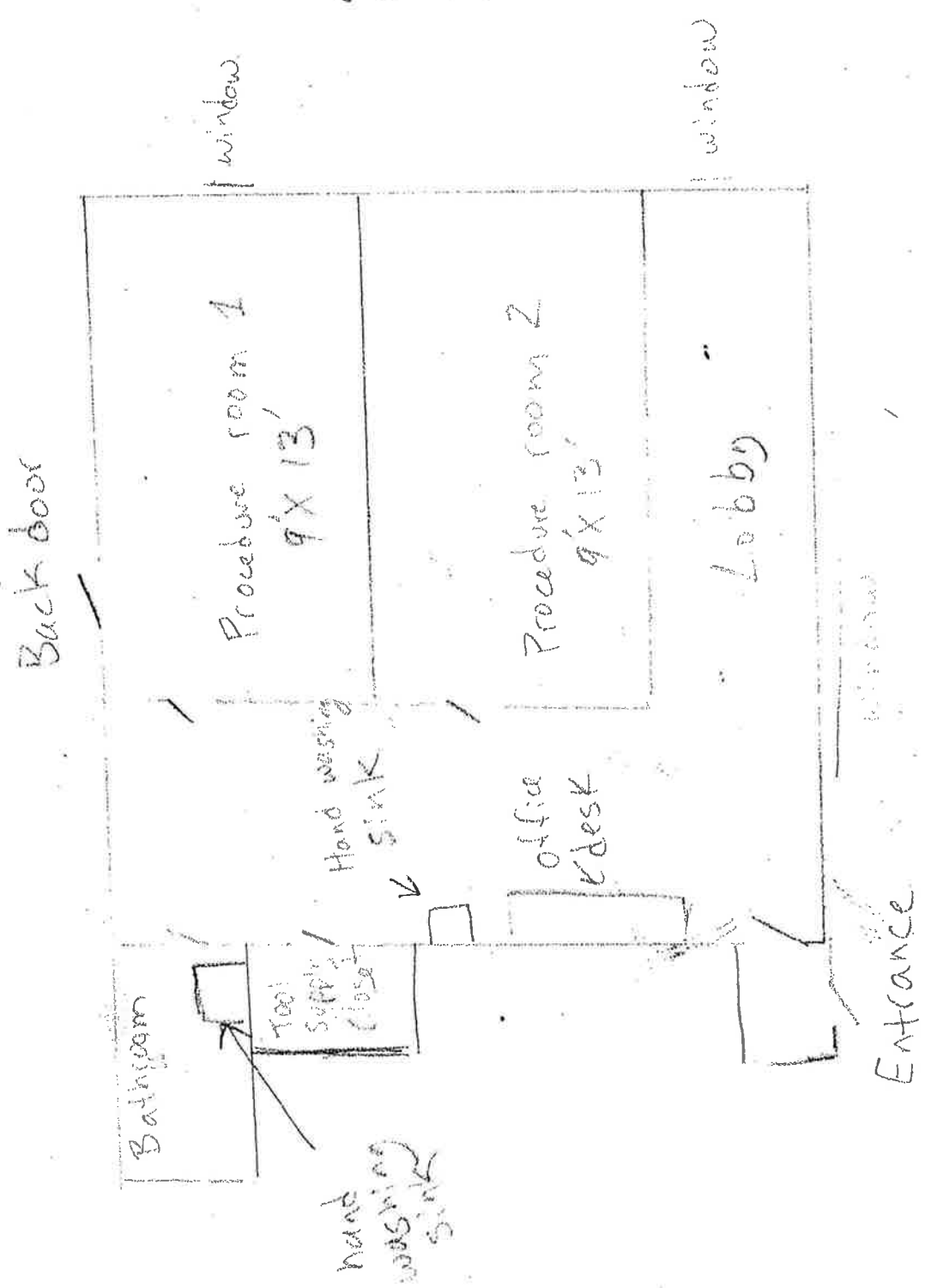
Thank you!

Gabriel Morton



# Floor Plan

401 E Wauville  
Isant: MN 55040, suite 122



\* This is a copy of the floor plan I submitted to the MN Dept of Health

- \* All walls are semi-gloss washable paint
- \* Floors are carpeted, except Bathroom and Procedure rooms are rolled vinyl flooring



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: May 17, 2022

SUBJECT: Interim Use Permit to operate a Tattoo Parlor in the B-2 General Business District located at 303 Credit Union Dr NE, Ste 5

---

### Overview/Background

The applicant, Idle Hands Tattoo was approved for an Interim Use Permit (IUP) in June of 2019, for a Tattoo Parlor at this proposed location within the B-2 General Business zoning district. A Tattoo Parlor is considered an Interim Use within this zoning district, meaning that the use is permitted in this location given that the use is approved by the City Council within a specified time frame and given conditions of approval. The approved Interim Use Permit had been granted for a period of three years, and expires on June 30<sup>th</sup>, 2022. Idle Hands Tattoo has resubmitted an Interim Use Permit application to extend their eligibility for a Tattoo Parlor at this location.

### Analysis of Application

*Zoning:* The subject property is located at 303 Credit Union Dr NE, and is part of the Isanti Mall. This property falls within the “B-2” General Business District. Within the zoning ordinances for this zoning district, a ‘Tattoo Parlor’ is considered an Interim Use.

Section 21, Article 3, Subd. 5 addresses criteria for granting an Interim Use Permit. The standards for an IUP are listed below with staff comments *Italicized*:

The Planning Commission and City Council shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding properties. The Planning Commission and City Council shall consider and make findings regarding the following factors:

- A. The proposed use shall meet the applicable zoning regulations  
*The existing Tattoo Parlor is not expected to negatively impact the health, safety, and general welfare of occupants of surrounding properties.*
  
- B. The proposed use will not adversely impact implementation of the Comprehensive Plan  
*The inclusion of a Tattoo Parlor within the Dual Square Mall has not limited or adversely impacted the implementation of the Comprehensive Plan.*

- C. The proposed use will terminate upon a date or event that can be identified with certainty *The Planning Commission and City Council shall set a reasonable timeline in which the proposed Interim Use Permit would expire. Staff suggests that the Interim Use Permit will expire in 3 years, which is consistent with the previous term of the IUP for this business.*
- D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future; and *The Tattoo Parlor will not impose additional future costs on the public since it is within the Isanti Mall.*
- E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit; and *Idle Hands Tattoo has a signed lease with the owners of the Isanti Mall. City staff suggests that the applicant provides proof of a signed lease with the property owners as part of the IUP submittal requirements.*
- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use. *Idle Hands Tattoo will be expected to meet any conditions set by the property owner, Planning Commission and City Council in order to operate their business in this location.*

**Subdivision 6: Conditions of Approval**

In permitting a new interim use permit or amending an existing interim use permit, the Planning Commission may recommend and the City Council may impose, in addition to the standards and requirements expressly specified by this section, additional conditions which the Planning Commission and/or City Council consider necessary to protect the best interest of the surrounding area or the community as a whole. These conditions may include, but are not limited to, the following:

- A. Increasing the required lot size or yard dimensions;
- B. Limiting the height, size, or location of buildings;
- C. Controlling the location and number of vehicles access points;
- D. Increasing the street width;
- E. Increasing the number of required off-street parking spaces;
- F. Limiting the number, size, location or lighting of signs;
- G. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property;
- H. Designation of open space;
- I. Obtaining the necessary licenses as required by the City of Isanti, Isanti County or State of Minnesota;
- J. Restrictions on the hours of operation;
- K. Exterior lighting is limited to protect adjacent or nearby property;
- L. Controlling architectural appearance and functional design of the building or site;

- M. Applicable performance standards of the zoning district in which such use is located are met and nonconformities are eliminated;
- N. Annual review, if deemed appropriate by the City Council.
- O. Any additional stipulations, pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public, health, safety, and welfare, can be served as well or better by modifying or expanding upon the conditions set forth herein.

*City staff does not expect there to be site issues resulting in the Tattoo Parlor's continued business operations since it is located within the Isanti Mall and the site has been previously designed to accommodate for tenants in this building.*

**Staff Recommendation**

Staff recommends approval with the following conditions:

- 1) Any applicable licensing and permits shall be obtained from the proper City, State, County, and Federal Governments as deemed necessary.
- 2) Any other recommendations from the Planning Commission
- 3) Signed permission of lease from Property Owner shall be provided to City Staff for review

**Attachments**

None



**MEMORANDUM**

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: May 17, 2022

SUBJECT: Vacation of certain drainage and utility easement dedicated to the City of Isanti

---

**Overview/Background**

The City of Isanti Economic Development Authority requests the vacation of the drainage and utility easement described herein:

The drainage and utility easement, as dedicated and delineated within Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota.

This vacation will allow the City of Isanti to plat the industrial lots identified in the following Preliminary Subdivision Plat with new drainage and utility easements to better meet the needs of the new layout.

**Staff Recommendation**

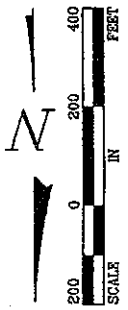
Staff recommends approval of the vacation of the aforementioned easement.

**Attachments**

Map of Outlot H

# ISANTI CENTENNIAL COMPLEX

For the purposes of this survey the West line of the Southeast 1/4, Sec. 20, Twp. 35, Rge. 23, is assumed to bear N 00°35'28" E.



Scale: 1 inch = 200 Feet

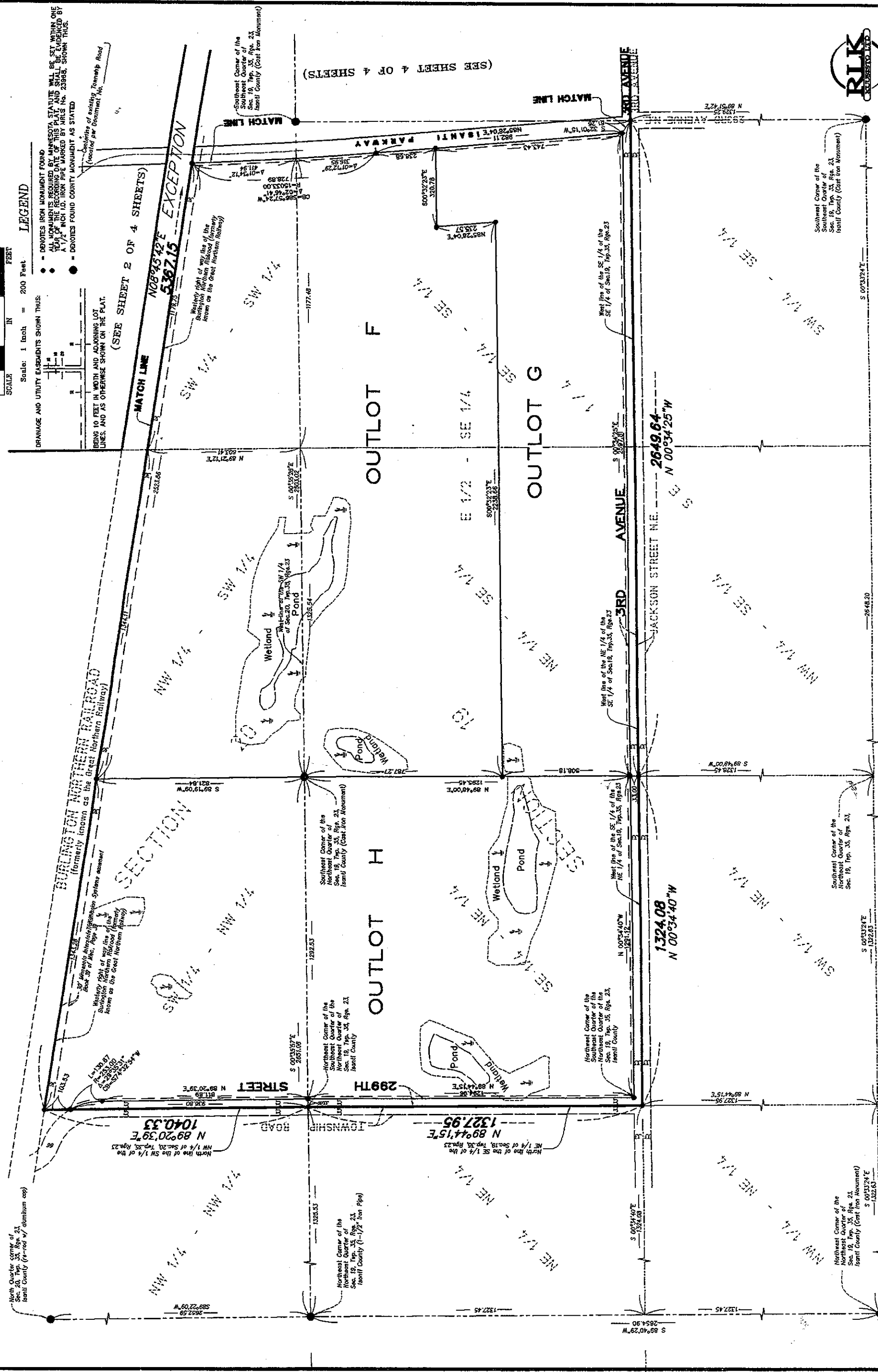
### LEGEND

- DENOTES IRON MONUMENT FOUND
- ALL MONUMENTS REQUIRED BY MINNESOTA STATUTE WILL BE SET WITHIN ONE YEAR OF THE RECORDING DATE OF THIS PLAT AND SHALL BE EVIDENCED BY A 1/2" DIA. IRON PIPE MARKED BY PLATE NO. 25988, SHOWN THUS.
- DENOTES FOUND COUNTY MONUMENT AS SITED

DRAINAGE AND UTILITY EASEMENTS SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING LOT LINES, AND AS OTHERWISE SHOWN ON THE PLAT.





MEMORANDUM

TO: Planning Commission  
FROM: Stephanie Hillesheim, Community Development Director  
DATE: May 17, 2022  
SUBJECT: Preliminary Plat for Isanti Railview North Industrial Park

---

**Overview/Background**

The City of Isanti Economic Development Authority owns 66 acres of industrial property north of the Wastewater Treatment Plant. Due to the increased demand for industrial properties within the community the Economic Development Authority has decided to plat 4 parcels for industrial sale. The preliminary plat was prepared by the City Engineer and meets all current zoning requirements of the I-1 Industrial Park District.

You will also see the documents for the updated easements on the parcel to be included in the approval of the Preliminary Plat.

**Staff Recommendation**

Staff recommends opening the Public Hearing and approval of the Preliminary Plat and proposed easement as submitted.

**Attachments**

- Preliminary Plat of Isanti Railview North Industrial Park
- Description of the Proposed Trail Easement
- Easement Exhibit



# *CITY OF ISANTI*

---

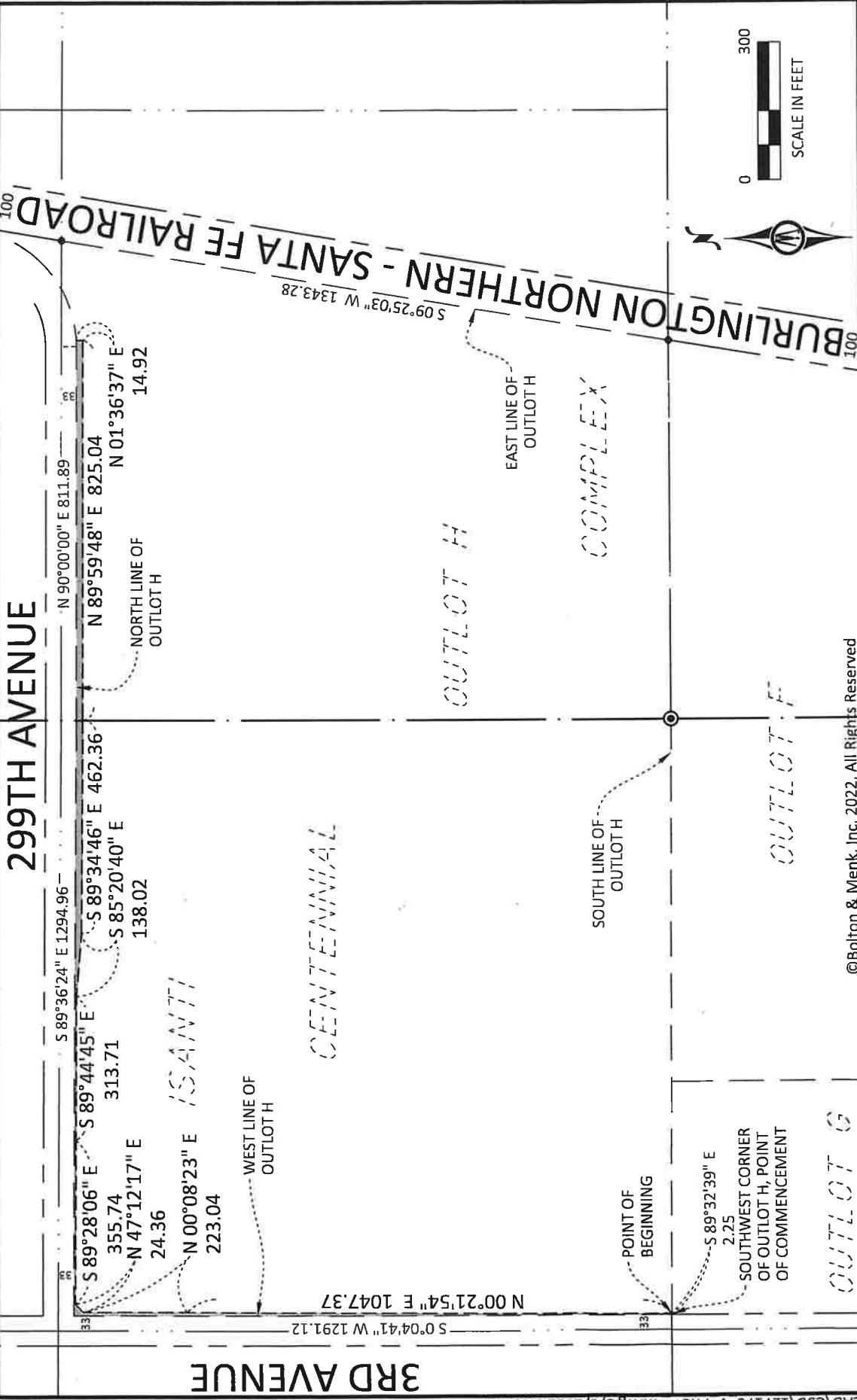
## *ISANT CENTENNIAL COMPLEX*

### *PROPOSED TRAIL EASEMENT*

**PROPOSED DESCRIPTION:**

A perpetual easement for trail purposes over, under and across that part of Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota, lying west, northwest, north of the following described line:

Commencing at the southwest corner of said Outlot H; thence on an assumed bearing of South 89 degrees 32 minutes 39 seconds East, along the south line of said Outlot H, a distance of 2.25 feet to the point of beginning of the line to be described; thence North 00 degrees 21 minutes 54 seconds East, a distance of 1047.37 feet; thence North 00 degrees 08 minutes 23 seconds East, a distance of 223.04 feet; thence North 47 degrees 12 minutes 17 seconds East, a distance of 24.36 feet; thence South 89 degrees 28 minutes 06 seconds East, a distance of 355.74 feet; thence South 89 degrees 44 minutes 45 seconds East, a distance of 313.71 feet; thence South 85 degrees 20 minutes 40 seconds East, a distance of 138.02 feet; thence South 89 degrees 34 minutes 46 seconds East, a distance of 462.36 feet; thence North 89 degrees 59 minutes 48 seconds East, a distance of 825.04 feet; thence North 01 degrees 36 minutes 37 seconds East, a distance of 14.92 feet, to the north line of said Outlot H and said line there terminating.



© Bolton & Menk, Inc. 2022, All Rights Reserved

**EASEMENT EXHIBIT**  
ISANTI, MINNESOTA 55040

OUTLOT H, ISANTI CENTENNIAL COMPLEX,  
ISANTI COUNTY, MINNESOTA

FOR: CITY OF ISANTI

7533 SUNWOOD DR NW, SUITE 206  
RAMSEY, MINNESOTA 55303  
(763) 433-2851



PROPOSED PERPETUAL TRAIL  
EASEMENT 30,180 SQ. FT. +/-

JOB NUMBER: 0R1.127176 FIELD BOOK: DRAWN BY: FRD

**PROPOSED DESCRIPTION:**

A perpetual easement for trail purposes over, under and across that part of Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota, lying west, northwest, north of the following described line:

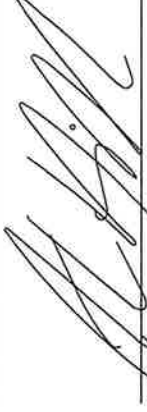
Commencing at the southwest corner of said Outlot H; thence on an assumed bearing of South 89 degrees 32 minutes 39 seconds East, along the south line of said Outlot H, a distance of 2.25 feet to the point of beginning of the line to be described; thence North 00 degrees 21 minutes 54 seconds East, a distance of 1047.37 feet; thence North 00 degrees 08 minutes 23 seconds East, a distance of 223.04 feet; thence North 47 degrees 12 minutes 17 seconds East, a distance of 24.36 feet; thence South 89 degrees 28 minutes 06 seconds East, a distance of 355.74 feet; thence South 89 degrees 44 minutes 45 seconds East, a distance of 313.71 feet; thence South 85 degrees 20 minutes 40 seconds East, a distance of 138.02 feet; thence South 89 degrees 34 minutes 46 seconds East, a distance of 462.36 feet; thence North 89 degrees 59 minutes 48 seconds East, a distance of 825.04 feet; thence North 01 degrees 36 minutes 37 seconds East, a distance of 14.92 feet, to the north line of said Outlot H and said line there terminating.

**SURVEYOR'S NOTES:**

1. This survey was performed, and the survey map prepared, without benefit of either a title insurance commitment or an attorney's title opinion. The record boundary and easement information (if any) shown hereon is based on information provided by the client. Research of documents affecting title to the property surveyed or adjoining properties has been limited to a cursory review of record information and it is recommended that all title matters affecting this property and survey be reviewed by an attorney or other title professional.
2. Distances are in feet.
3. Bearings shown on this survey are assume the west line of Outlot H bears South 00 degrees 04 minutes 41 seconds West.
4. Field survey was completed April 20th, 2022.

**SURVEYOR'S CERTIFICATION**

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.



Andrew Hill

License Number 57632

05/06/2022

Date

©Bolton & Menk, Inc. 2022, All Rights Reserved

**EASEMENT EXHIBIT**  
ISANTI, MINNESOTA 55040



7533 SUNWOOD DR NW, SUITE 206  
RAMSEY, MINNESOTA 55303  
(763) 433-2851

OUTLOT H, ISANTI CENTENNIAL COMPLEX,  
ISANTI COUNTY, MINNESOTA

FOR: CITY OF ISANTI

JOB NUMBER: 0R1.127176 FIELD BOOK:

DRAWN BY: FRD



**CITY OF ISANTI  
SPECIAL MEETING OF THE PLANNING COMMISSION  
TUESDAY, May 17, 2022  
6:00pm  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**3. Business**

A. Request by Semler Construction Inc for approval of a Planned Unit Development Preliminary Plat under City Ordinance 740, said request is for a 44-lot housing development named Rum River Villas located at PID 16.111.0600.

**4. Adjournment**



**MEMORANDUM**

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: May 17, 2022

SUBJECT: Preliminary Plat for Rum River Villas

---

**Overview/Background**

On April 19, 2022 the City of Isanti Planning Commission held a Public Hearing for the Preliminary Plat for Rum River Villas as requested by Semler Homes. The plat that was originally presented consisted of 53 homes as allowed by City Ordinance under Planned Unit Developments for a 20% increase in density in relation to the current zoning district. Upon direction from the Public Hearing aforementioned, Semler Homes has altered their request to consist of 44 homes as allowed in the current density for the zoning district R-1 Single Family Residential. The PUD ordinance allows for an alteration in lot sizes as long as they meet the minimums required within overall residential districts within City Zoning Ordinance.

The attached concept follows the rules and requirements of a PUD allowed in the R-1 Sing Family Residential District.

**Staff Recommendation**

Staff recommends approval of the Preliminary Plat as long it meets all conditions outlined by the City Engineer and City Staff presented at the previous meeting. Previous Memos are attached.

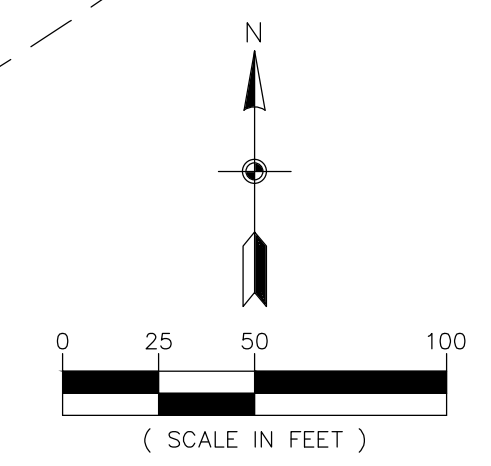
**Attachments**

Concept Plan for Rum River Villas Preliminary Plat



**SITE DATA**

TOTAL SITE AREA	±14.94 AC.
TOTAL NUMBER OF LOTS	44
80' SF LOTS (R-1) (1-21)	21
55' VILLA LOTS (22-44)	23
<b>MINIMUM R-1 RESIDENTIAL SETBACK DATA:</b>	
FRONT	30 FT.
SIDE	10 FT.
SIDE CORNER	20 FT.
REAR SETBACK	30 FT.
MINIMUM LOT AREA	11,000 SQ.FT.
<b>MINIMUM VILLA SETBACK DATA:</b>	
FRONT	30 FT.
SIDE	7.5 FT.
SIDE CORNER	20 FT.
REAR SETBACK	30 FT.



**CARLSON MCCAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL  
 3990 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449  
 TEL. 763.486.7900 \ FAX 763.486.7958 \ CARLSONMCCAIN.COM

**CONCEPT PLAN**  
**RUM RIVER VILLAS**  
 Isanti, Minnesota

**SEMLER CONSTRUCTION, INC.**  
 209 - 1st Ave E  
 Cambridge, MN, 55008

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: C#  
 ISSUE DATE: 05/10/2022  
 FILE NO: 1180



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: April 19, 2022

SUBJECT: Request by Semler Construction Inc. for approval for a Preliminary Plat under City Ordinance 740, said request is for a development labeled Rum River Villas located at PID 16.111.0600

---

**Request:** The applicant is requesting Preliminary Plat Planned Unit Development approval for Rum River Villas for 53 single family lots on PID 16.111.0600.

**Overview/Background:**

In 2004, a preliminary plat for the Rum River Meadows development was approved which included future single-family housing lots on the subject site: PID 16.111.0600. When the Rum River Meadows 2<sup>nd</sup> Addition Final Plat was submitted, the subject site was platted into Outlot C of the development. Preliminary plat approval is needed again due to added lots from the original approved preliminary plat and the timeline has surpassed where the original preliminary plat has now expired. Semler Construction Inc, the applicants of this proposed project, have purchased the vacant land to develop 53 single family lots.

**Analysis of Application**

The development is intended to extend Rum River Drive SW and Maplewood Ave SW to the south. The preliminary plat submitted has varying house sizes and lot sizes across a total of 14.94 acres for the vacant parcel. The smallest lot in the development is proposed to be 7,188 square ft and the largest lot is proposed at 12,025 square ft. The average lot size is 8,600 square ft. Two outlots are proposed in the southwest corner of the site. Staff recommends turning portions of these outlots into dedicated right of way to plan for future connections of roadways of surrounding properties.

### ***Zoning***

The subject site is currently zoned “R-1” Single Family Residential and is proposed by the applicants as a PUD. City staff recommends that the underlying district for this proposed development should be rezoned to “R-3A” Low Density Multiple Family Residential based on the intended lot sizes and housing types of the PUD. Minimum requirements not mentioned in this PUD Master Plan submittal would then follow the Zoning Ordinance requirements for the R-3A Zoning District.

According to the City’s Subdivision Ordinance if any zoning changes are contemplated, a proposed rezoning of the property can be reviewed and approved at the time of the Preliminary Plat Approval. The Planning Commission should discuss whether the underlying zoning district of R-1 Single Family Residential should be changed to the R-3A Low Density Multiple Family Residential Zoning District in order to better fit the lot sizes and housing types proposed for the development.

### ***Comprehensive Plan***

According to the Future Land Use Map found in the City’s 2020 Comprehensive Plan, this parcel is guided as Low Density Residential. Housing Density in this classification is 0-3 units per acre. The proposed development calls for 3.55 units per acre (53 lots / 14.94 acres). This development falls outside of the Low-Density Residential housing density of 0-3 units per acre, however the next step of Medium Density Residential housing density accommodates for 4-8 units per acre. The proposed density of 3.55 units per acre would be most consistent with the Low-Density Residential category by definition.

### ***Grading Plan/Utilities Plan/ Stormwater Plan***

The City Engineer’s memo is attached. With revisions laid out in the report, Engineering is recommending approval.

### **Staff Recommendation:**

Staff recommends approval of the Preliminary and Final Plat subject to the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms of the development. Development fees will be charged to the developer based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. Any and all costs associated with the recording and processing of any agreements and Plat shall be assumed by the developer.

4. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet
Side yard setback:	7.5 feet, each side
Garage setback:	7.5 feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
5. Trees and landscaping shall be planted on each lot according to Section 15 of the City Zoning Ordinance.
6. Dedication, if required, of utility and access easements are granted to the City of Isanti.
7. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances and extend the bike trail.
8. Address items/conditions identified in the Memorandum from City Engineer Jason Cook dated April 7,2022 to Community Development Director Stephanie Hillesheim

**Attachments:**

- Proposed Plat
- City Engineer's memo
- Fire Chief memo





Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** April 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Rum River Villas – Site Plan, Stormwater Management Plan & Preliminary Plat Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan, Preliminary Plat, and Hydraulics Report all entitled “Rum River Villas” with a plan set signature date of March 11, 2022 and received at the City on March 25, 2022.

The plat includes the construction of 53 single family lots. The submitted plan set includes the extension of city streets and utilities as well as site and storm water pond grading.

Also submitted was a stormwater management plan and modeling dated March 11, 2022.

We have reviewed the submitted documents and have the following comments:

### Stormwater Management Plan:

1. What are the building low opening elevations for the 3 structures on the property south of this site? They will need to be above the proposed B-B 100yr event.
2. Confirm 279<sup>th</sup> gravel driveway will not be flooded in the 100-yr event. It appears there is a 0.5’ buffer.
3. Verify ground water elevation and percolation rate of pond and update model accordingly.

### Geotechnical Evaluation:

1. Complete soil borings and provide pavement design, ground water table, and percolation rate at the pond.

### Plan Set:

1. Sheet 3 of 8: Preliminary Plat
  - a. Change Outlot B and the 30’ roadway easement along the south side of Outlot A into 30’ wide Right-of Way. Label each ROW with street names following the naming convention in the area (alphabetical tree names)
    - i. Get signed document from resident to the south stating they have a private driveway in the City ROW that the resident is solely responsible to maintain until it is removed when the future roadway is constructed.
  - b. Change Maplewood Avenue street name to Juniper Avenue SW starting at the intersection of Ironwood Ave SW continuing south. There is already a Maplewood & Rum River drive intersection north of this site.
  - c. Submit temporary cul-de-sac easement for west end stub street.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

2. Sheet 4 of 8:
  - a. Add call outs for watermain fittings, valves, hydrants etc.
    - i. Add valves at intersections one less valve per leg of watermain pipe.
  - b. Add profiles showing watermain, sanitary, and storm sewer sizes, depths and grades.
  - c. Add proposed street profiles grades and vertical curve call outs.
  - d. Add intersection details showing grade through curb radii.
  - e. Add storm leads sheets showing all proposed pipes and structures
  - f. Add all sanitary sewer services and water services to plans, call out invert at ROW and grade of service pipe.
  - g. Extend 10" watermain to the west dead end.
  - h. Sidewalk should run 6' from back of curb.
    - i. Remove ped ramp to south in the NW quadrant of Maplewood & Rum River Drive.
  - i. Trail should run 2' from ROW line.
3. Sheet 5 of 8:
  - a. Trail should run 2' off the ROW line.
  - b. Add concrete pedestrian ramp with truncated domes at the South Passage Intersection. Add cross walk blocks and stop bar as well. Relocate stop sign to the west side of the new crosswalk.
4. Sheet 6 of 8:
  - a. Will the existing storm apron that catches the county ditch at the SE corner of the site have adequate cover to the trail, and fit the trail side slope as to not drop off at the trail edge?
  - b. Will the pond be a wet pond with a NWL as called out on plan? Or an infiltration basin? Get soil boring to determine groundwater level. If wet pond, will need to have 10' bench and dead storage per design requirements.
5. Sheet 7 of 8:
  - a. Add the following details:
    - i. Proposed structures, hydrant with gate valve, sewer and water service leads, surmountable curb ("Edina style")
    - ii. Trail section shall be 2.5" SPWEA240B with 4" CI 5 base.
    - iii. Revise typical sections to show walk 6' from back of curb.
6. Sheet 8 of 8:
  - a. Provide wall anchor design and detail of wall type, footing and drain layout.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

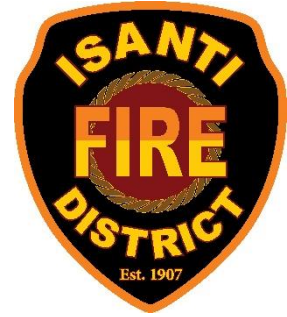
7. Sheet L1 of 2:
  - a. Verify no trees will be planted within 10 feet of proposed pipes or in easements.
8. Add the following table to the plan set:
  - a. Show elevation of proposed low floor and low opening if each lot.
  - b. Show sewer service invert at right of way. Verify all 4-inch services can be installed at 1.5% minimum grade and still service all proposed building elevations.
  - c. Show elevation of 2-feet above the B-B 100-year event at each parcel along pond. Verify low opening elevation is at least 2-feet above the B-B 100-year flood elevation.
  - d. Show elevation of 1-foot above the emergency overflow at each parcel including back yard inlets. Verify low opening elevation is at least 1 foot above emergency overflow elevation.
9. Add a signage and striping plan. Show cross walks at all ped ramp crossings with stop bar. Show cross walk sign with arrow at the non-stop condition crossing.
  - a. Show two permanent type-III barricades at the west end of stub street.
  - b. Show street name signs at intersection and at Maplewood street name change near trail crosswalk.
10. Add lighting plan.
11. Fill out SWPPP checklist (attached)
12. Submit specifications.
13. Submit construction cost estimate.

We recommend requiring the additional submittal documents be submitted for review and approved prior to approval of a development agreement.

Please contact me if you have any questions.

March 30, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: Rum River Villas

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed Rum River Villas plat, PID 16.111.0600.

Isanti Fire supports the continuation as presented in the March 29, 2022 development review meeting providing that all State and City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code.*

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a light blue rectangular background.

Alan Jankovich | Fire Chief  
Isanti Fire District



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, June 21, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the May 17, 2022 Special PC Meeting
- B. Approval of Minutes from the May 17, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by RK Unlimited Properties, LLC for Site Plan Approval under City Ordinance 445, Section 18, said request is for a manufacturing facility located in the I-1 Industrial Park District at 605 E Dual Blvd NE for Unlimited Welding.
- B. Request by State Storage Shafer, LLC for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Self-Storage Facility located in the I-1 Industrial Park District at 501 W Dual Blvd NE.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

## SPECIAL MEETING OF THE PLANNING COMMISSION

TUESDAY, May 17, 2022

**1. Meeting Opening**

- A. Call to Order: Chair Johnson called the meeting to order at 6:00 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.  
Members Absent: Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, Finance Director Mike Betker, City Clerk Jaden Strand, City Administrator Josi Wood
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

**2. Business**

- A. Request by Semler Construction Inc for approval of a Planned Unit Development Preliminary Plat under City Ordinance 740, said request is for a 44-lot housing development named Rum River Villas located at PID 16.111.0600.  
CD Director Hillesheim presented the item for the Preliminary Plat of Rum River Villas. It was discussed that at the previous Planning Commission Meeting, Semler Homes had requested that the development included 53 lots. The number was reduced down to 44 lots to meet the density requirements of the R-1 zoning district which was requested by the Planning Commission. It was determined that 44 lots are the maximum amount of lots this 14.94-acre development could have, while being within the 0-3 lots per acre category of Low-Density Single Family Residential. Mayor Johnson stated that he likes the updated preliminary plat a lot better now that it has less lots and fits in the zoning district. Discussion was had regarding a privacy fence that would be placed in the rear yards from lots separating Ironwood Ct from the development. City Administrator Josi Wood said that it would not be best practice to make the developer install this fence as a condition for the development approval. Collison questioned whether the PUD lot sizes could be altered from the preliminary plat to the final plat. Hillesheim said that the lot sizes would have to meet the minimums regardless but that the preliminary plans are the general concept for the development. Bergley commented that he believes the developers have done their due diligence on taking into account the concerns of the Planning Commission from the previous meeting. Bergley made a motion to approve the proposed preliminary plat and the motion was passed 4-2. Simon and Lundeen abstained their votes.

3. **Adjournment:** Motion by Collison, 2<sup>nd</sup> by Bergley to adjourn, motion passed 6-0, meeting adjourned at 6:14 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

DRAFT

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, May 17, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:16 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins  
Members Absent: None  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 7-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the April 19, 2022 Planning Commission Meeting motion by Lundeen, second by Collison motion passes 7-0.

#### 4. Public Hearing

- A. Request by Black Moon Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 401 E Dual Blvd NE.

Saltis presented the request for an Interim Use Permit for a Tattoo Parlor in the B-2 District for Black Moon Tattoo. It was explained that City Staff was notified of a tattoo parlor operating within the Dual Square Mall without an Interim Use Permit. Staff contacted the owner of Black Moon Tattoo and they applied for an IUP in order to be compliant with the city's zoning ordinances. The applicant, Gabriel Morton, was present at the Planning Commission Meeting and available for questions. The applicant stated that he wasn't aware that a Tattoo Parlor was an interim use in this zoning district and he had thought it was a general business use which is permitted in this zoning district. Mayor Johnson read aloud a letter from Stacy Upton, the owner of Idle Hands Tattoo. The letter stated that the applicant is not licensed by the State of Minnesota and that he did not do his due diligence before opening his tattoo shop. Stacy Upton was present at the meeting and described her letter in further detail and that she has concerns about the tattoo shop's licensing. City Staff reminded the Planning Commission that the purpose of the meeting is to approve an Interim Use

Permit and that these requirements are to protect the neighboring businesses. Obtaining state licensing was also written in the conditions of approval for the IUP. The public hearing closed and the Planning Commission discussed the permit. It was determined that staff would issue the applicant a cease-and-desist letter for operations until an IUP is granted by the City Council and that the term length of the permit would be 1 year. Motion for approval of the IUP with a term length of 1 year and conditions listed in the staff memo was made by Lundeen and seconded by Gordon, motion passed 7-0.

B. Request by Idle Hands Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 303 Credit Union Dr NE

Saltis presented the request for an Interim Use Permit for Idle Hands Tattoo. It was explained that the Interim Use Permit that was approved in 2019 was expiring in June of 2022. The term of expiration is granted by the Planning Commission and City Council. Mayor Johnson commended Idle Hands Tattoo for recognizing that their Interim Use Permit was expiring and applying to renew the permit before it expired. Discussion was had for whether the IUP term length wanted to be extended to 5 years. The Planning Commission thought that this term length might be too long and that they should revisit the IUP in another 3 years similar to the applicant's last permit. Motion was made to approve the Interim Use Permit for a 3-year term by Collison seconded by Simon, motion passes 7-0.

C. Request by the Economic Development Authority of the City of Isanti to vacate certain drainage and utility easement dedicated to the City of Isanti. The legal descriptions of certain drainage and utility easement; which are subject of the vacation herein include:

The drainage and utility easement, as dedicated and delineated within Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota.

Hillesheim explained the request in that there is a drainage and utility easement in Outlot H of the Isanti Centennial Complex. It was explained that the purpose of this is to clean up the plat by vacating this easement and new easements would be created for the trail, but that staff would like to see the lines on the plat disappear to make it easier in the long run. There was no one from the public to speak at the public hearing. Motion to approve the vacation for the drainage and utility easement by Lundeen and seconded by Collins, motion passed 7-0.

- D. Request by the Economic Development Authority of the City of Isanti for a Preliminary Subdivision Plat, pursuant to City Ordinance 740, to split PID 16.09.00140 into 5 parcels, located in the I-1 Industrial Park Zoning District.

Hillesheim explained that the city owns 66 acres of Industrial Zoned land and that there is increased demand in Industrial lots in the city and space is running out. The added lots comply with the I-1 District. Utilities would not be extended due to costs and stormwater would be managed per lot. No one from the public was present to speak on this item. Motion was made to approve the preliminary subdivision plat by Lundeen seconded by Collison, motion passed 7-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Collison, 2<sup>nd</sup> by Lundeen to adjourn, motion passed 7-0, meeting adjourned at 8:09 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 21, 2022

SUBJECT: Site Plan Review for an Industrial building located at 605 E Dual Blvd NE for RK Unlimited Welding

**Request:** The applicant, RK Unlimited Welding is requesting site plan approval for an Industrial building located at 605 E Dual Blvd NE.

**Overview/Background:** The applicant proposes to construct a 30,000 sq ft building on a 5.01-acre vacant lot located at 605 E Dual Blvd NE in the City’s Industrial Park. This is a shovel ready site and was once part of a 15.03-acre parcel until it was split into three separate 5.01-acre parcels.

These parcels are currently zoned I-1 Industrial Park District in which “Light Manufacturing” and “Warehousing” are permitted uses. The proposed building is intended to be 30,000 sq ft and include offices, a conference and break room, six bathrooms and a large 25,000 square foot warehousing space. The site is proposed to provide 52 total parking stalls.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

**Setbacks – Principal Building**

- |                            |   |
|----------------------------|---|
| Minimum Front Yard Setback | There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line. |
| Minimum Side Yard Setback  | There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width. |
| Minimum Rear Yard Setback  | 30 feet   |

*The proposed buildings will be located over 30 ft from the front property line and will be setback over the required 15 ft minimum for the sides. The rear of the building will be at least 30 ft from the north property line. The proposed building will meet all required setbacks for the I-1 zoning district.*

### **Impervious Surface Coverage**

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter.

*Impervious surfaces on site will include the building, paved bituminous parking lot and concrete sidewalk surfaces. The total impervious area proposed on site is 93,700 square ft and total lot area is 218,160 square ft ( $93,700 / 218,160 = 43\%$  impervious surface). The site will consist of roughly 57% green space and the impervious surface requirements will be met.*

*If future development or paving occurs on the site, the impervious surface maximum of 75% shall be considered again at the time of site plan review.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas and driving surfaces are proposed to be surfaced with a Bituminous Material. Concrete sidewalks are proposed around the perimeter of the building.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the perimeter of the parking lot and paved area on site and proposes to end on the west. The city engineer addresses the curbing in their memo that it will have to extend around the full perimeter of the site.*

### **Parking Lot Setbacks**

- Front Yard Setback            10 feet
- Rear Yard Setback            10 feet
- Street Side Yard Setback    10 feet
- Side Yard Setback            10 feet

*Parking areas on site will meet the required 10-foot setbacks from property lines.*

## **Parking Standards**

### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

#### **REQUIRED PARKING SPACES**

OFFICE: 1 SPACE PER 250 SF - 5100 SF / 250 = 20 SPACES

WAREHOUSE: 1 SPACE PER 1500 SF - 24900 SF / 1500 = 17 SPACES

*Based on the proposed use and total square footage of the proposed building, 37 parking spaces are required for the 30,000 square foot building. Three stalls are required to be handicap accessible based on the total number of proposed parking stalls. The site plans for the building shows 52 parking stalls total, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use but will have to add 1 more handicap accessible parking space to be compliant with ADA standards (1 space per 25 parking stalls).*

### **Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

**TABLE 9: Parking Lot and Parking Stall Dimensions**

<b>Angle of Parking</b>	<b>Stall Width</b>	<b>Curb Length Per Car</b>	<b>Stall Length</b>	<b>Aisle Width One Way</b>	<b>Aisle Width Two Way</b>
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will have two-way traffic for the parking areas in front of the proposed building. Stall dimensions are shown as 9 feet in width and 20 feet in length and follow this requirement. The drive aisle widths around both parking areas are proposed at 24 feet. Based on the parking lot chart above, these drive aisle widths will need to be at minimum 26 feet. Staff suggests reducing the parking stall lengths from 20 ft to 19 ft on both sides to gain 2 more feet for the drive aisle width.*

## **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

### **Outdoor Lighting Standards**

*A photometrics plan was submitted for review of foot candle readings on site which measures intensity of proposed lighting upon neighboring properties. The photometrics plan meets the outdoor lighting standards for foot candle readings in that they do not exceed 5 foot candles measured at the street curb line or non-residential property line nearest the light source.*

*The photometric plan shows two lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. Based on the lighting plan, there is a 0.0-foot candle reading over the interior parking stalls on the site. Staff requires a downlit freestanding light pole be installed to illuminate these parking stalls for safety.*

*All light sources proposed on site will have to meet criteria listed in Section 14, Subd. 5 of the City Zoning Ordinances.*

## **Building Design and Construction**

### Exterior Building Materials

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
  1. Face brick
  2. Natural stone
  3. Glass

4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
5. Factory fabricated, finished 26 Ga. Metal panel
6. Decorative concrete block approved by the City Council.
7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewall height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

*Exterior building materials mostly include prefinished metal panels for the roofing and siding of the building. According to architectural plans, there is no proposed wainscoting to complement the metal panels for the exterior of the building. The wainscoting should be placed on the two sides that are facing the roadways, on the south and east of the building. Wainscoting is required to be one-third of the sidewall height and consist of face brick, natural stone, or decorative concrete block. Colors for the building materials were not specified on architectural plans but will need to complement surrounding structures in the Industrial District.*

### **Screening, and Landscaping**

- A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.
  1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.
 

*Mechanical equipment is not displayed on site plans. If outside mechanical equipment is proposed it shall be displayed on site and landscaping plans to review the location and screening from adjacent properties.*
  2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.
 

*The exterior elevations on the south of the building show two garage doors that may be used for loading. The building orientation will be facing south toward the road and the east of the site will be facing East Dual Blvd. There are existing trees on the southwest of the site that will shield the building and loading area*

*from the business to the west of the site. There are no surrounding residential areas near the site and will not have to be shielded from view.*

## **Landscaping**

**Non-Residential Requirements:** In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

**Minimum Landscaping Requirements.** All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

**Maintenance of Landscaping.** The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

**Soil Requirements.** A minimum of four (4) inches of topsoil shall be provided upon all lots.

**Turf Requirements.** All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

### **Tree Requirements.**

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at

least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*Landscaping plans were missing from the submittal package and were not submitted for review at this time. The City Landscaping Ordinance requires that the site have at least 1 tree per 50 ft of lot frontage. There is roughly 800 ft of street frontage on this corner lot (800 / 50 = 16 trees minimum). Trees should be various species and be in accordance with the City Tree Lists. All other areas on site that are disturbed by construction must include sod. All landscaping plans shall be consistent with Section 15 of the City Zoning Ordinances and submitted to staff to review compliance.*

### **Refuse and Trash Receptacle Enclosures**

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  - 2. Trash enclosures shall be lit.
  - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*There are no trash enclosures proposed on plans submitted. The location of the trash enclosure shall be designated on site plans for the review of city staff. Architectural plans of the trash enclosure shall also be submitted to ensure the building materials meet city ordinances. The trash enclosure will need to be illuminated for the safety of employees and the submitted photometrics plans will be reviewed to ensure proper lighting is used for the location of the enclosure. The trash enclosure will be reviewed to the standards set in Section 14, Subd. 3 of the City’s Zoning Ordinances.*

## **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

**Staff Recommendation:** Staff recommends approval of the two proposed Industrial buildings located at 687 and 703 East Dual Blvd NE with the following conditions:

1. The site shall provide at least 3 handicap accessible parking stalls per ADA requirements
2. A trash enclosure shall be provided on site plans and reviewed by city staff for location, building materials, lighting etc. The trash enclosure shall follow City Zoning Ordinances Section 14, Subd. 3.
3. Wainscoting shall be placed on the east and south sides of the building and shall follow Section 8, Subd. 13 of the City's Zoning Ordinances for exterior building materials
4. Landscaping Plans shall be submitted for review by city staff and follow Section 15 of the City's Zoning Ordinances
5. All lighting features on site shall be downlit and follow Section 14, Subd 5 Outdoor Lighting Design Standards
6. A downlit freestanding light pole shall be installed for the parking area in the middle of the site
7. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
8. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
9. All conditions/comments listed in the City Engineer's memos dated 6/3/2022 shall be addressed

## **Attachments:**

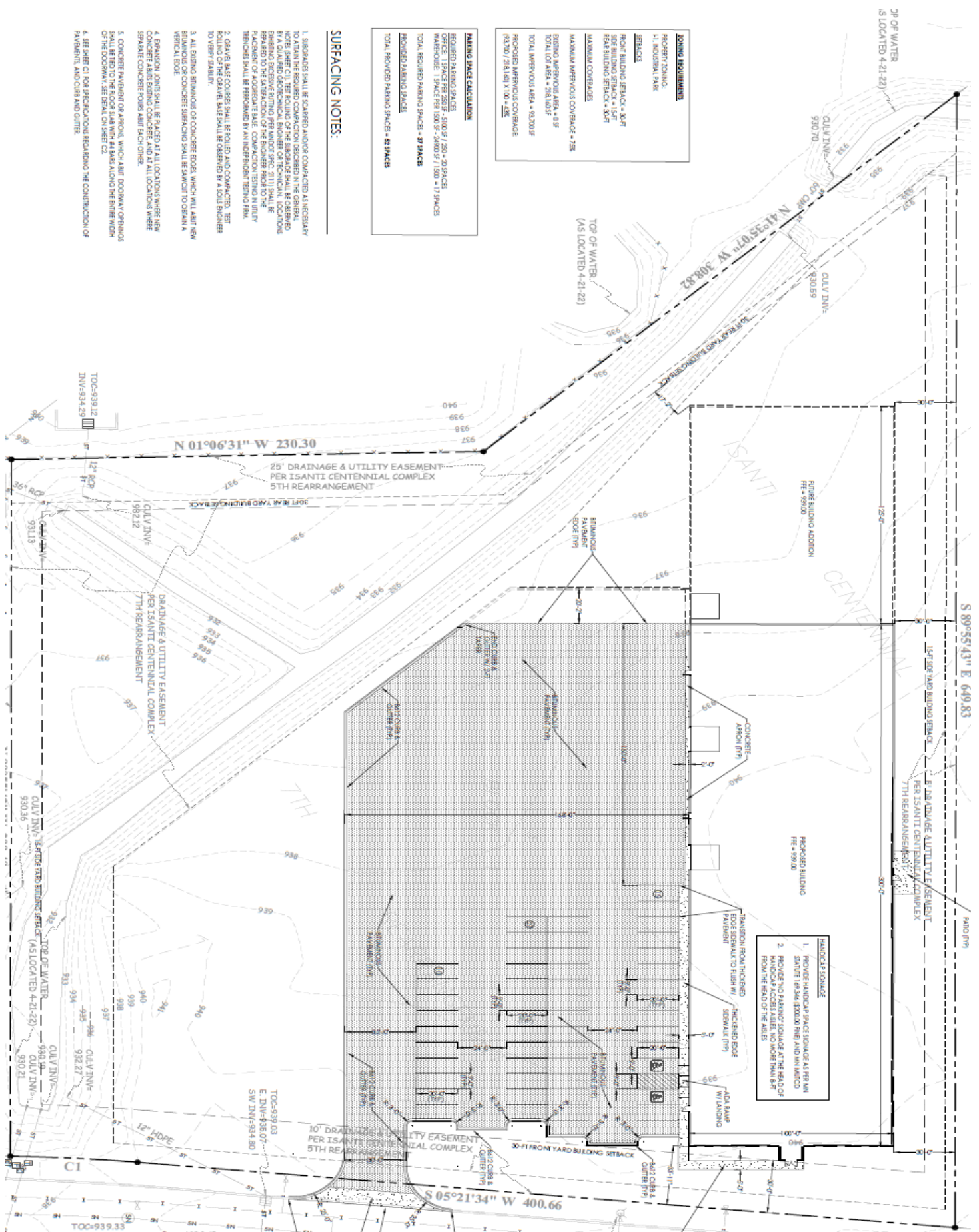
- Site Plans
- Floor Plans
- Exterior Elevations
- City Engineer's Memo Dated 6/3/2022
- Fire Chief Memo Dated 6/15/2022



**Project: RK Unlimited Welding**

<p>Does this project meet the standards of the current Zoning District?</p>	<p>Yes, the site is located in the I-1 Industrial Park District and the project meets the standards set by this zoning district</p>
<p>Are any Conditional Use Permits, Interim Use Permits or Variance applications required with this project? (If Yes, what for?)</p>	<p>No</p>
<p>If the previous question was answered “Yes”, are all criteria for a CUP, IUP, or Variance met?</p>	<p>N/A</p>
<p>Does this project follow the goals of the City’s Comprehensive Plan?</p>	<p>Yes, the warehousing building is complementary of surrounding uses and businesses in the Industrial Park and will provide jobs to people in the community</p>
<p>Does staff recommend approval? Are there any recommended conditions for this project?</p>	<p>Staff recommends approval with the following conditions:</p> <ol style="list-style-type: none"> <li>1. The site shall provide at least 3 handicap accessible parking stalls per ADA requirements</li> <li>2. A trash enclosure shall be provided on site plans and reviewed by city staff for location, building materials, lighting etc. The trash enclosure shall follow City Zoning Ordinances Section 14, Subd. 3.</li> <li>3. Wainscoting shall be placed on the east and south sides of the building and shall follow Section 8, Subd. 13 of the City’s Zoning Ordinances for exterior building materials</li> <li>4. Landscaping Plans shall be submitted for review by city staff and follow Section 15 of the City’s Zoning Ordinances</li> <li>5. All lighting features on site shall be downlit and follow Section 14, Subd 5 Outdoor Lighting Design Standards</li> </ol>

	<ol style="list-style-type: none"><li>6. A downlit freestanding light pole shall be installed for the parking area in the middle of the site</li><li>7. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances</li><li>8. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.</li><li>9. All conditions/comments listed in the City Engineer's memos dated 6/3/2022 shall be addressed</li></ol>
--	---



**ZONING REQUIREMENTS**  
 PROPERTY ZONING: H1 INDUSTRIAL PARK  
 SETBACKS:  
 FRONT BUILDING SETBACK = 30 FT  
 SIDE BUILDING SETBACK = 15 FT  
 REAR BUILDING SETBACK = 25 FT  
 MAXIMUM COVERAGE:  
 MAXIMUM PERVIOUS COVERAGE = 75%  
 BUILDING PERVIOUS AREA = 0%  
 TOTAL LOT AREA = 218,100 SF  
 TOTAL IMPERVIOUS AREA = 82,300 SF  
 PROPOSED PERVIOUS COVERAGE = 95,700 / 218,100 X 100 = 43%

**PARKING SPACE CALCULATION**  
 REQUIRED PARKING SPACES:  
 OFFICE: 17 SPACES PER 250 SF = 510 SF / 250 = 20.4 SPACES  
 WAREHOUSE: 1 SPACE PER 100 SF = 2400 SF / 100 = 24 SPACES  
 TOTAL REQUIRED PARKING SPACES = 87 SPACES  
 PROVIDED PARKING SPACES:  
 TOTAL PROVIDED PARKING SPACES = 82 SPACES

**SURFACING NOTES:**

1. SURFACES SHALL BE SCARIFIED AND/OR COMPACTED AS NECESSARY TO ATTAIN THE REQUIRED COMPACTION DESCRIBED IN THE GENERAL NOTES AND SPECIFICATIONS. ALL SURFACES SHALL BE FINISHED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICAL LOCATION ENGINEER EXCEPT WHERE NOTED OTHERWISE. ALL FINISH LOCATIONS SHALL BE TO THE INSIDE OF THE BROWNER PRIOR TO THE PROCEEDING OF ANY OTHER WORK. COMPACTED AREAS SHALL BE FINISHED WITH A FINISH COURSE OF 1/2" GRANULAR FILL TO BE OBSERVED BY AN INSPECTOR BEFORE FINISH.
2. GRAVEL BASE COURSES SHALL BE ROLLED AND COMPACTED. TEST ROLLING OF THE GRAVEL BASE SHALL BE OBSERVED BY A SOIL BROWNER TO VERIFY STABILITY.
3. ALL EXISTING BRICKWORK OR CONCRETE BLOCK WHICH WILL BE IN CONTACT WITH NEW BRICKWORK OR CONCRETE SURFACING SHALL BE SAWCUT TO OBTAIN A VERTICAL JOINT.
4. BRICKWORK JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE NEW BRICKWORK OR CONCRETE SURFACING IS TO BE PLACED OVER EXISTING BRICKWORK OR CONCRETE BLOCK. ALL JOINTS SHALL BE REINFORCED WITH #4 BARS ALONG THE ENTIRE WIDTH OF THE FOOTING. SEE DETAIL ON SHEET C2.
5. CONCRETE PAVEMENT OR ASPHALT, WHICH ARE NOT DOORWAY OR DRIVEWAYS, SHALL BE 4" THICK WITH #4 BARS ALONG THE ENTIRE WIDTH OF THE FOOTING. SEE DETAIL ON SHEET C2.
6. REFER TO C-2 FOR SPECIFICATIONS REGARDING THE CONSTRUCTION OF PAVEMENTS AND CURBS AND OUTLET.

**HANDICAPED SOURCE**

1. PROVIDE HANDICAPED SPACE STORAGE AS PER MIN. SPECIFICATIONS PER 192.56 (300.00) FROM AND IN WIDED.
2. PROVIDE NO PARKING STORAGE AT THE REAR OF HANDICAPED ACCESS ABLES, NO MORE THAN 8 FT FROM THE REAR OF THE ABLES.

TOC-939.03  
 E. INV. = 935.07  
 SW INV. = 934.80

TOC-939.33

S 89°25'43" E 649.83

N 01°06'31" W 230.30

S 05°21'34" W 400.66

25' DRAINAGE & UTILITY EASEMENT PER ISANTI CENTENNIAL COMPLEX 5TH REARRANGEMENT

10' DRAINAGE & UTILITY EASEMENT PER ISANTI CENTENNIAL COMPLEX 5TH REARRANGEMENT

DRAINAGE & UTILITY EASEMENT PER ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT

15 FT REAR YARD BUILDING SETBACK PER ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT

30 FT REAR YARD BUILDING SETBACK

30-FT FRONT YARD BUILDING SETBACK

51' REAR YARD UTILITY EASEMENT PER ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT

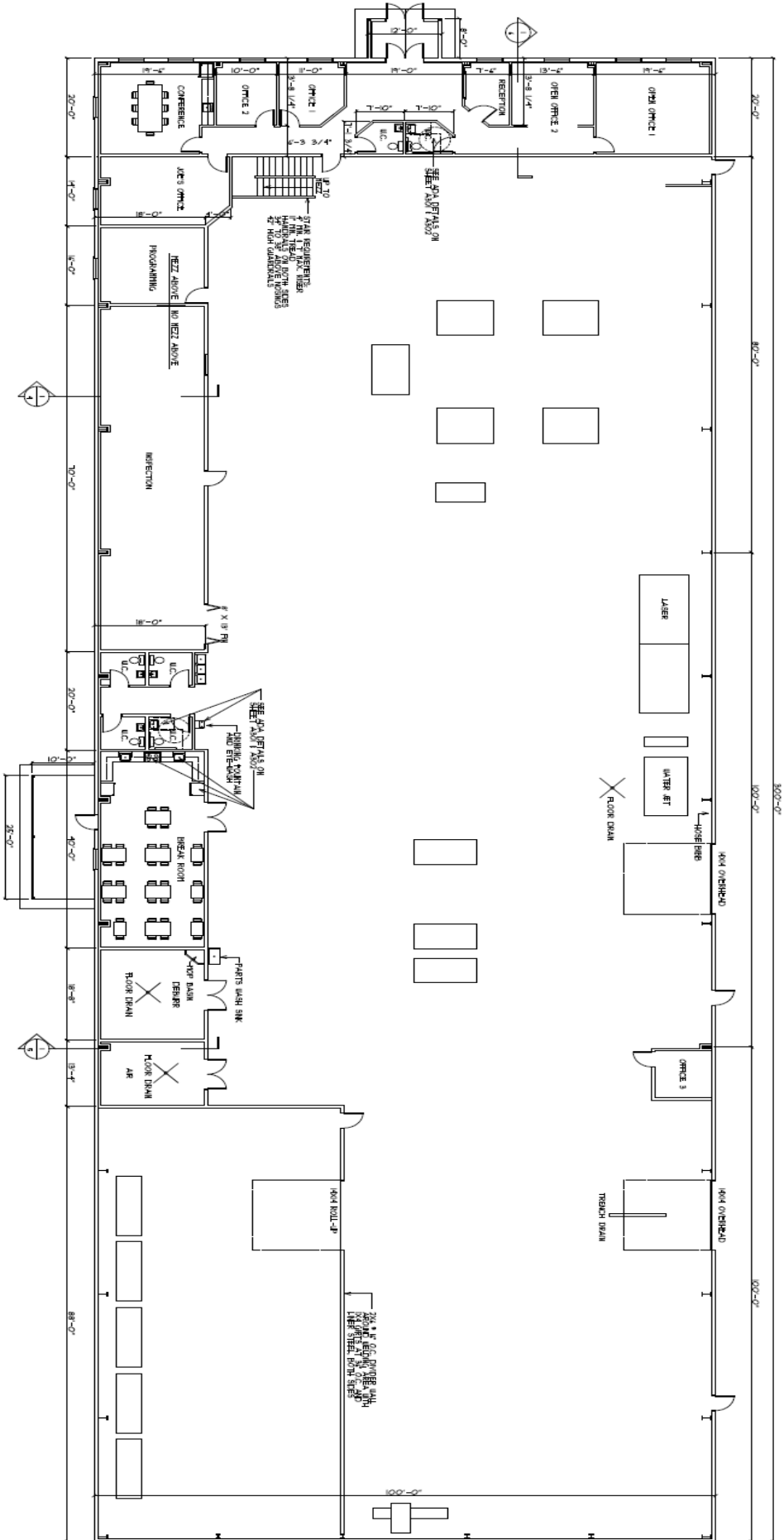
PROPOSED BUILDING FEE = \$99.00

PROPOSED BUILDING FEE = \$99.00

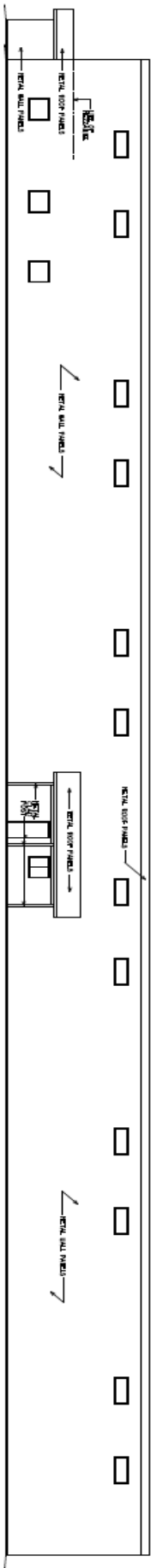
PROPOSED BUILDING FEE = \$99.00

PROPOSED BUILDING FEE = \$99.00

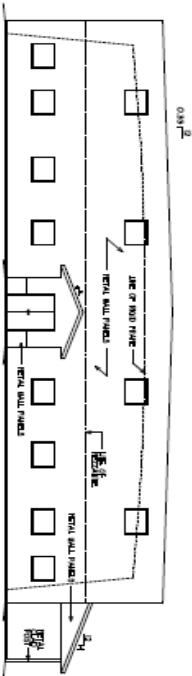
PROPOSED BUILDING FEE = \$99.00



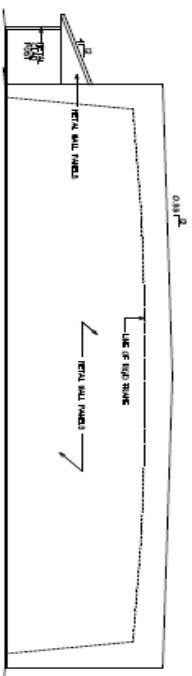
**FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



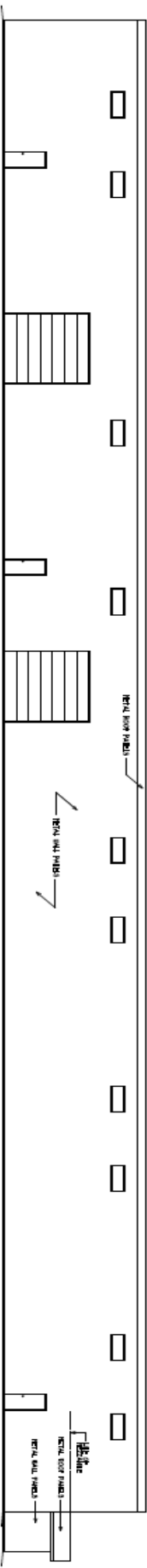
NORTH ELEVATION  
SCALE 3/8" = 1'-0"



EAST ELEVATION  
SCALE 3/8" = 1'-0"



WEST ELEVATION  
SCALE 3/8" = 1'-0"



SOUTH ELEVATION  
SCALE 3/8" = 1'-0"



**BOLTON  
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** June 3, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** RK Unlimited Welding – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Unlimited Welding & Fabrication” with a preliminary check set date of 5/26/2022.

The plan includes the construction of a new building, parking lot and a storm sewer system with two ponds.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet CS 1 of 1 Site Plan:
  - a. Curb & gutter shall be constructed around the full perimeter of the new pavement including the west side of the site. Either build the full parking lot now, or curb along the edge of the proposed limits of this phase.
  - b. Construct valley gutter on East Dual Boulevard – (see attached detail)
2. Sheet C 3 of 6 – Grading & Drainage Plan:
  - a. The storm water ponds will need to have an impervious liner to ensure no infiltration occurs and the dead storage is maintained.
  - b. Submit engineered wall design to ensure future building expansion footing depth and wall anchoring will not conflict, Or will the wall not be constructed until the future building expansion occurs at which point it could be designed at that time.
3. Sheet C 4 of 6 – SWPPP Notes:
  - a. Submit pond maintenance plan.
  - b. Submit NPDES Permit to City prior to beginning work.
  - c. Submit City SWPPP checklist (attached)
4. Sheet C 5 of 6 – SWPPP - Plan View:
  - a. All turf establishment outside of the proposed pond embankment slopes shall be sod, not seed, per City standard.
5. Sheet C 6 of 6 – Utility Plan:



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

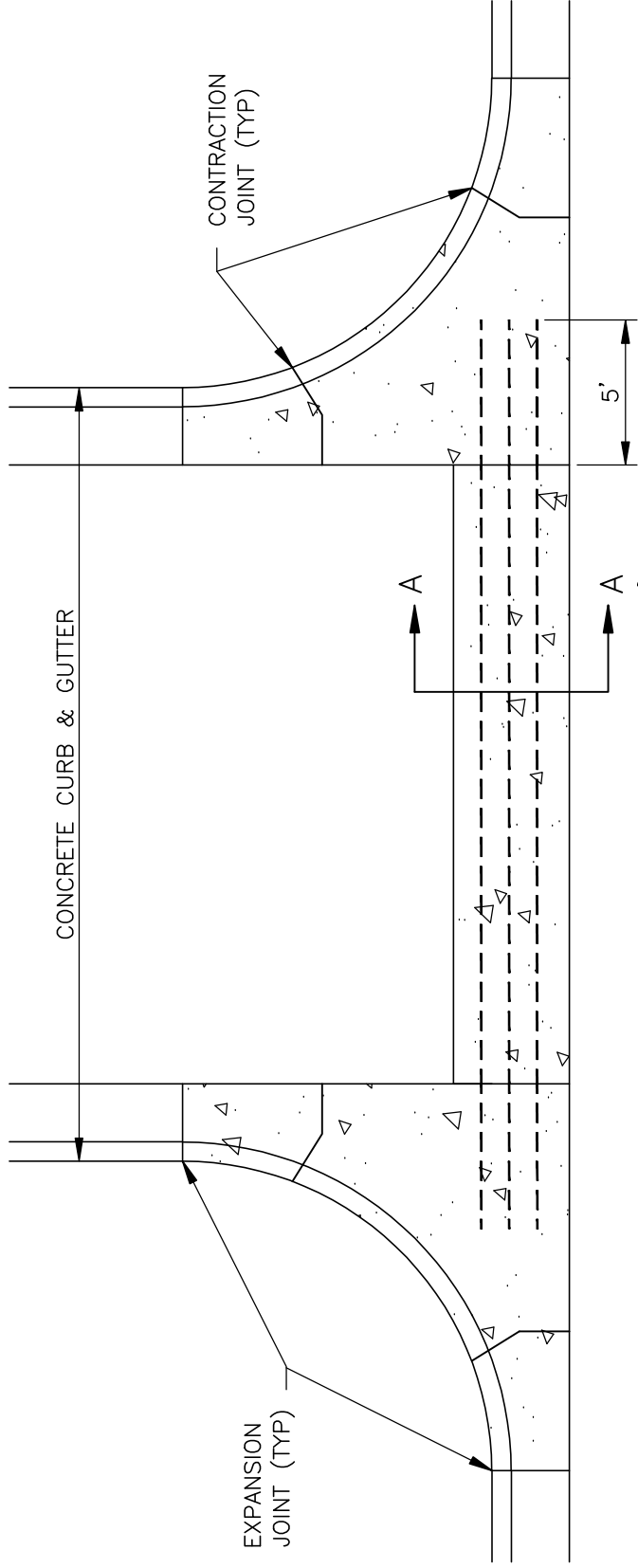
- a. Connect to existing sanitary sewer stub to avoid cutting into street – (see attached record drawing)
6. Sheet A010 – Site Plan & Details
  - a. Large “future parking and drive” area appears to be over existing ditch and drainage & utility easement. Confirm this is not needed for the future building expansion, or describe plan to maintain ditch flow with future parking expansion.

Stormwater Modeling:

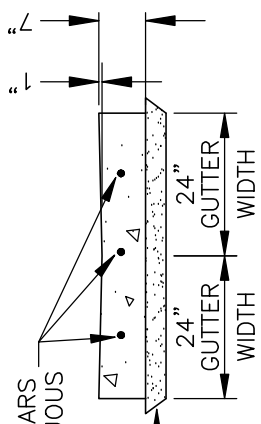
1. Submit subcatchment maps for the existing and proposed models.
2. Confirm proposed ponds are sized for the ultimate build out of the site, not just the first phase.
3. Use Atlas-14 storm event modeling.
4. Submit summary table of 2, 10, and 100 year storm event flow rates pre and post development.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



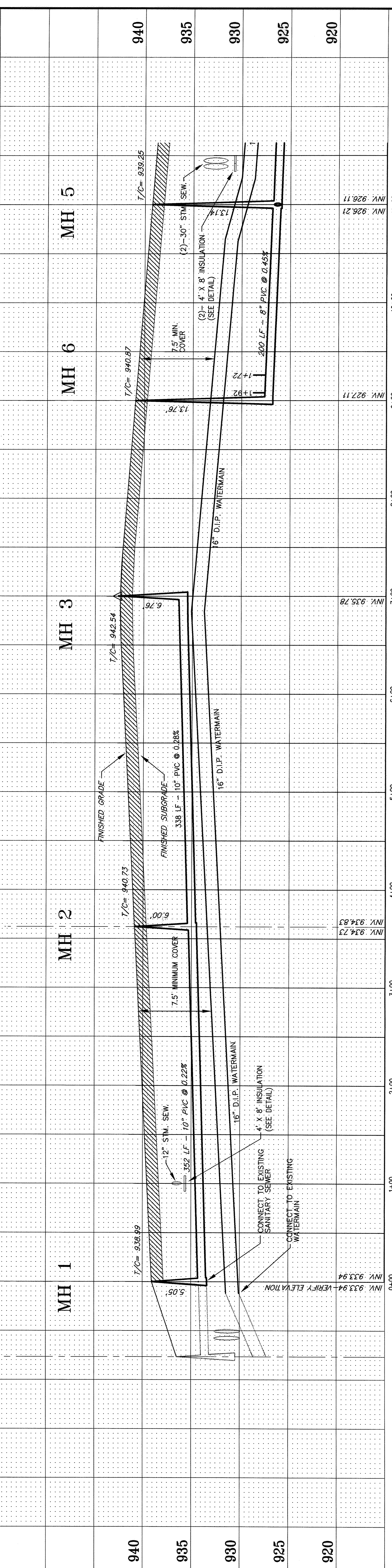
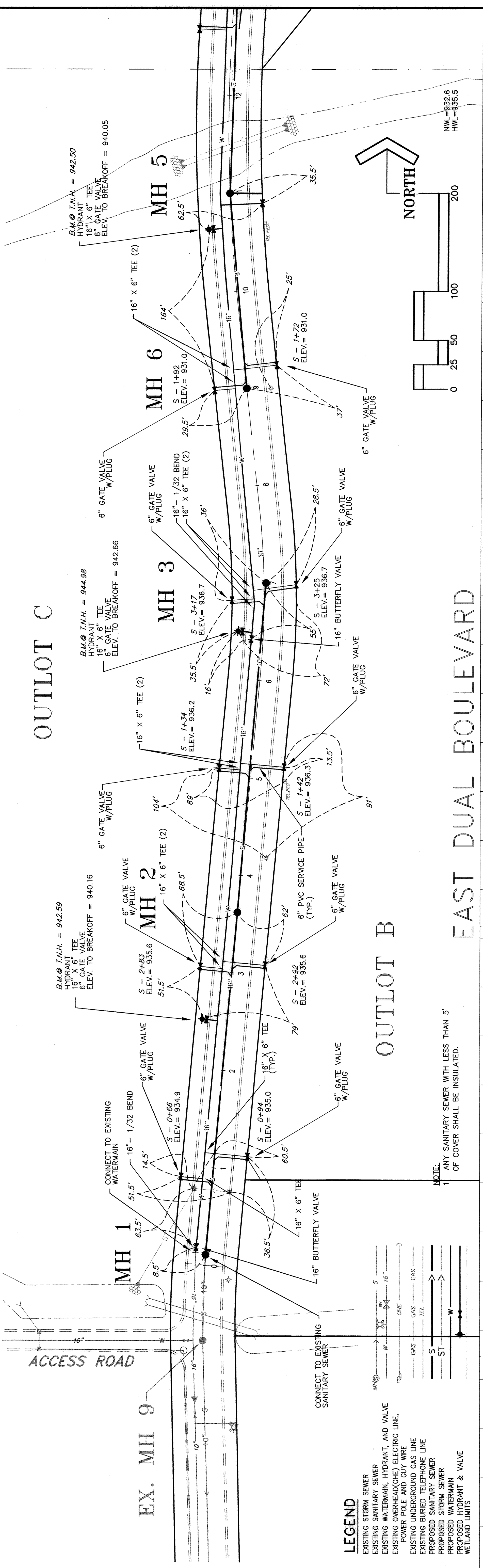
- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER  
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REVISIONS:			
ORIG. PROJ:		REMARKS:			
PROJ. #:		ENG/TECH:			



940	935	930	925	920
NV. 933.94	NV. 933.94	NV. 933.94	NV. 933.94	NV. 933.94
0+00	14+00	24+00	34+00	44+00
MH 1	MH 2	MH 3	MH 6	MH 5
0+00	44+00	54+00	64+00	74+00
8+00	9+00	10+00	11+00	11+00
NV. 926.21	NV. 926.21	NV. 926.21	NV. 926.21	NV. 926.21

NOTES:  
 1. ALL WATERMAIN SHALL BE DUCTILE IRON, CLASS 52, WITH 7.5 FOOT MINIMUM COVER.  
 2. ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35 UNLESS OTHERWISE INDICATED.  
 3. ALL WATERMAIN SHALL BE 16" D.I.P. WATERMAIN UNLESS OTHERWISE INDICATED.  
 4. SANITARY SERVICES SHALL BE 12" PVC SDR 26.

**OUTLET C**

BM @ T.N.H. = 942.50  
 HYDRANT  
 16" X 6" TEE  
 6" GATE VALVE  
 ELEV. TO BREAKOFF = 940.05

**OUTLET B**

BM @ T.N.H. = 944.98  
 16" X 6" TEE  
 6" GATE VALVE  
 ELEV. TO BREAKOFF = 942.66

**EAST DUAL BOULEVARD**

**LEGEND**

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- EXISTING OVERHEAD(OHE) ELECTRIC LINE,
- POWER POLE AND GUY WIRE
- EXISTING BURIED TELEPHONE LINE
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED HYDRANT & VALVE
- WETLAND LIMITS

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE EXCAVATING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**Revisions**

No.	Date	By	Remarks
A	10/17/05	AFK	RECORD PLAN REVISION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Jeffrey J. Roos*  
 Name: JEFFREY J. ROOS  
 Date: 3/10/03 License #: 10206

Scale: 1"=50'

Designed	DLK
Drawn	MRD
Date	1/15/03
Checked	DLK
Approved	JJR

**MFRA**  
 McCombs Frank Roos Associates, Inc.  
 15000 23rd Avenue North • Plymouth, Minnesota • 55447  
 Phone 763/476-6010 • Fax 763/476-8532  
 E-Mail: mfra@mfra.com

**Client**  
 City of Isanti  
 Isanti, MN

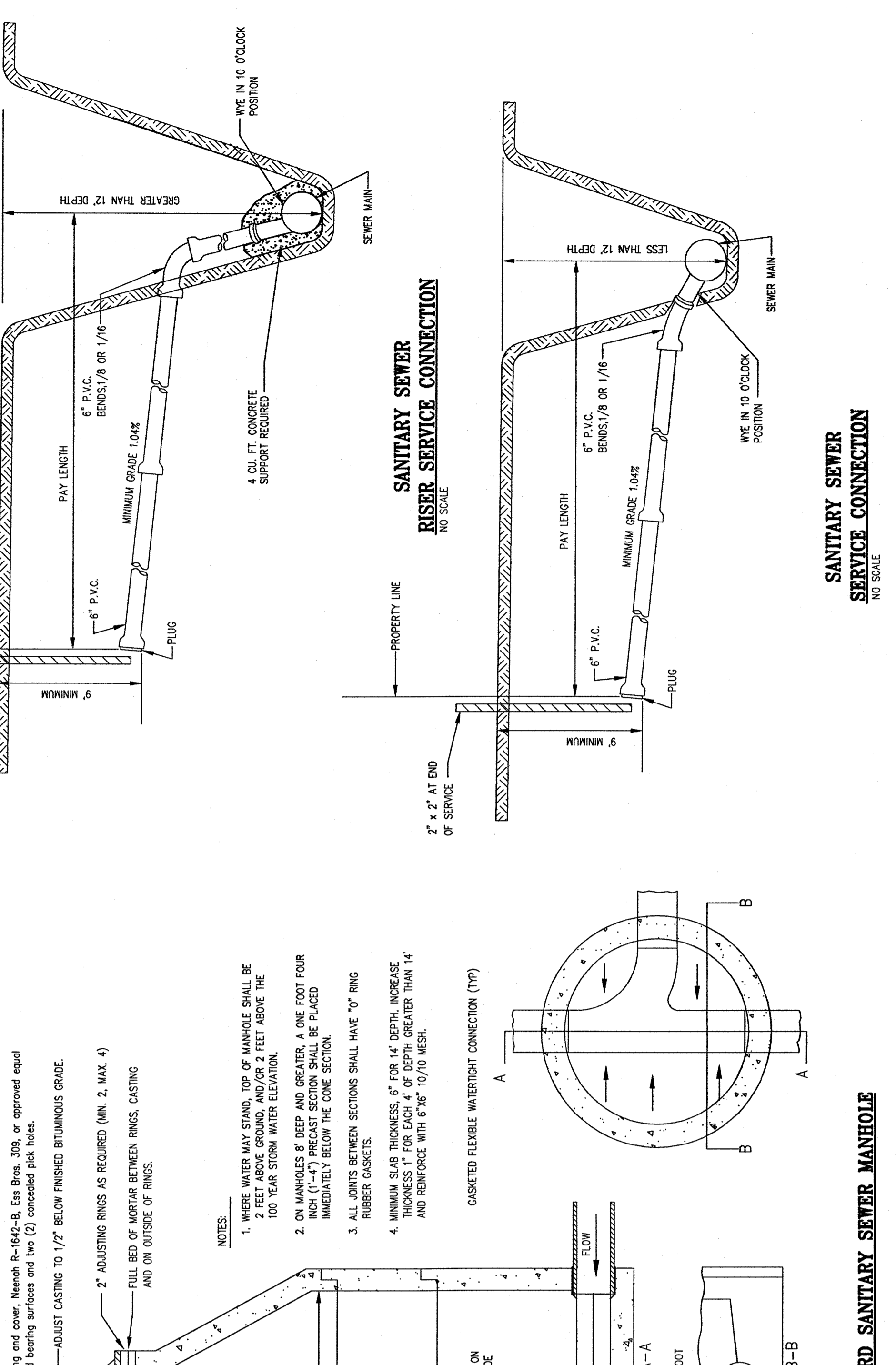
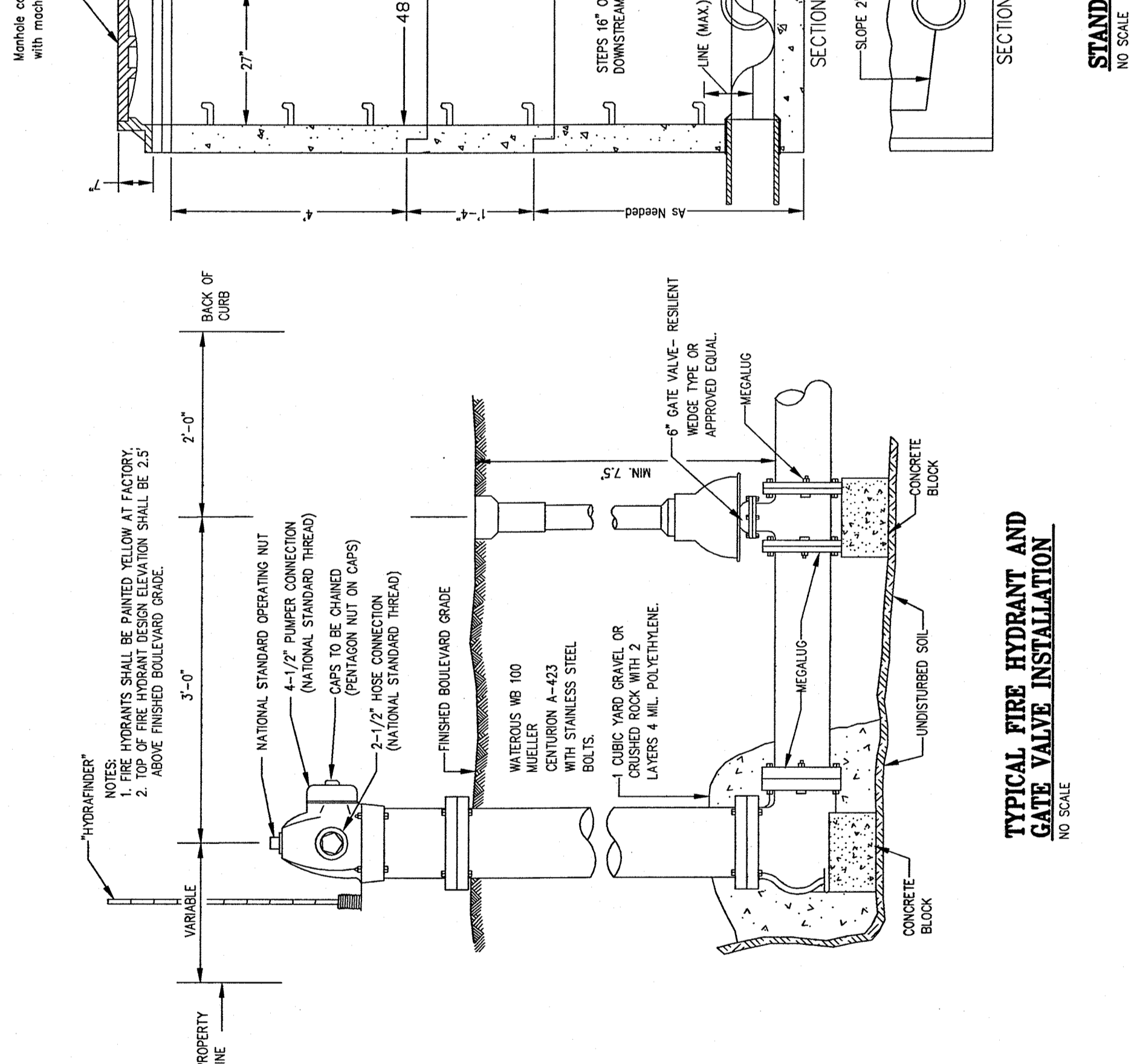
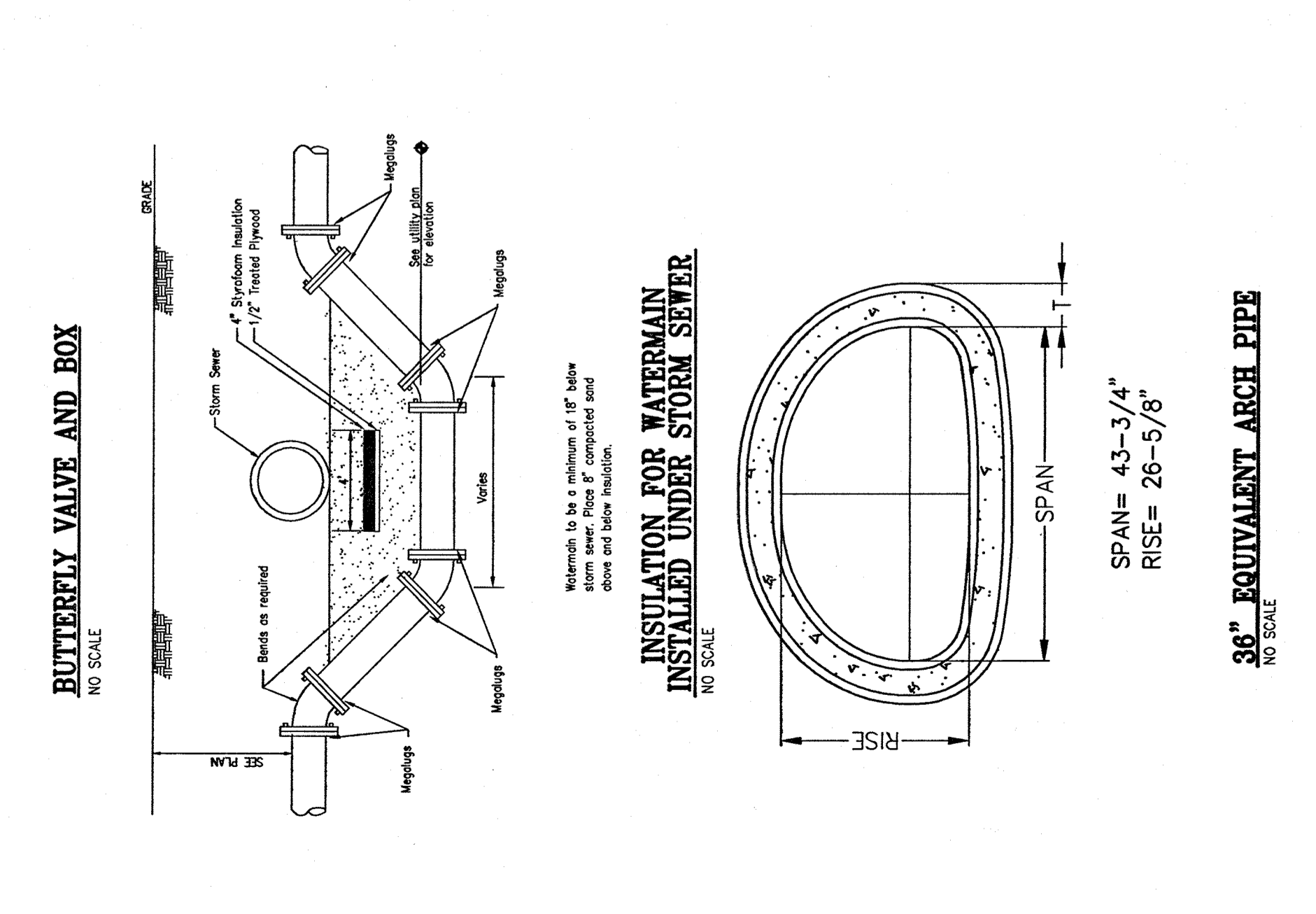
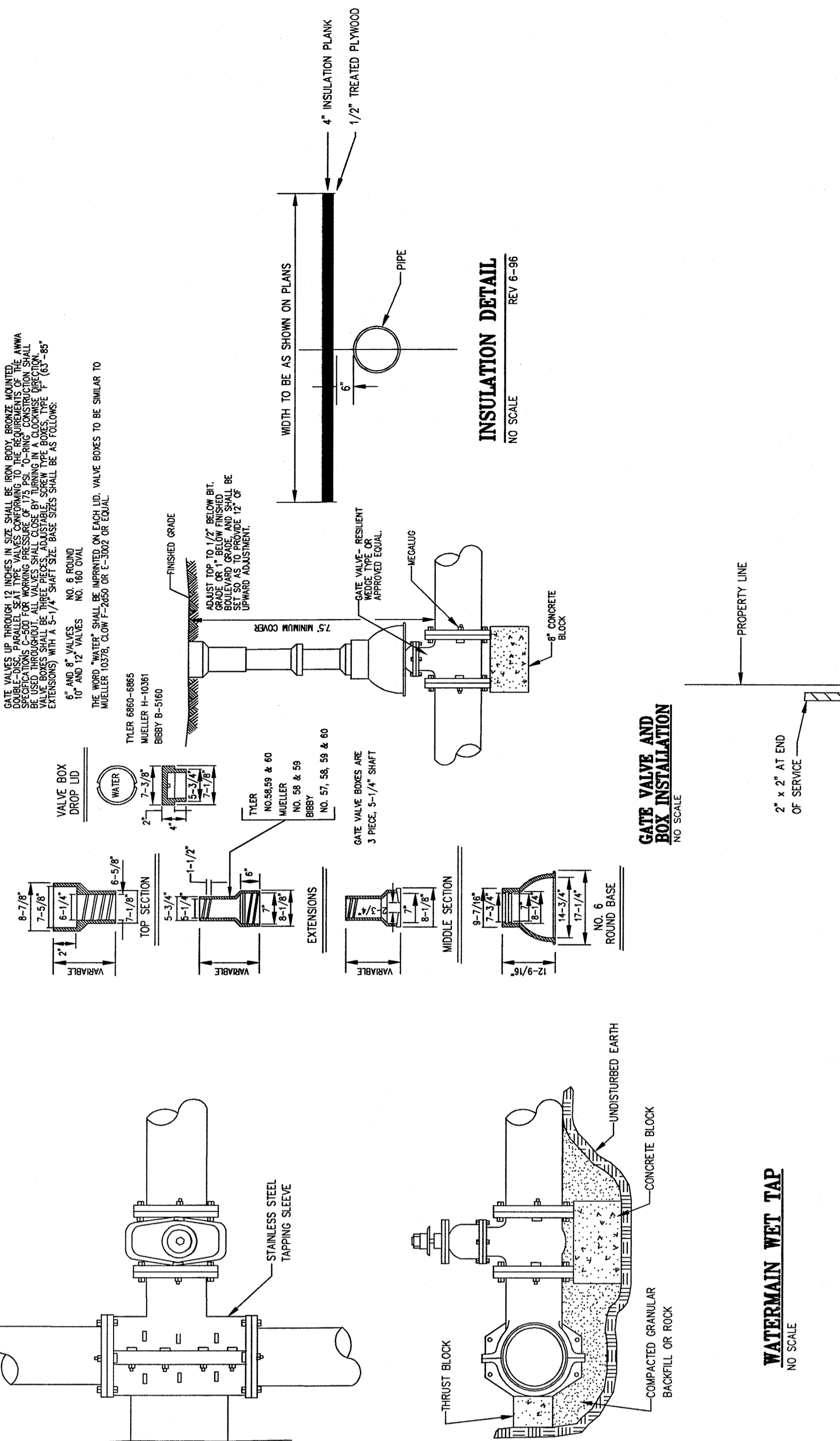
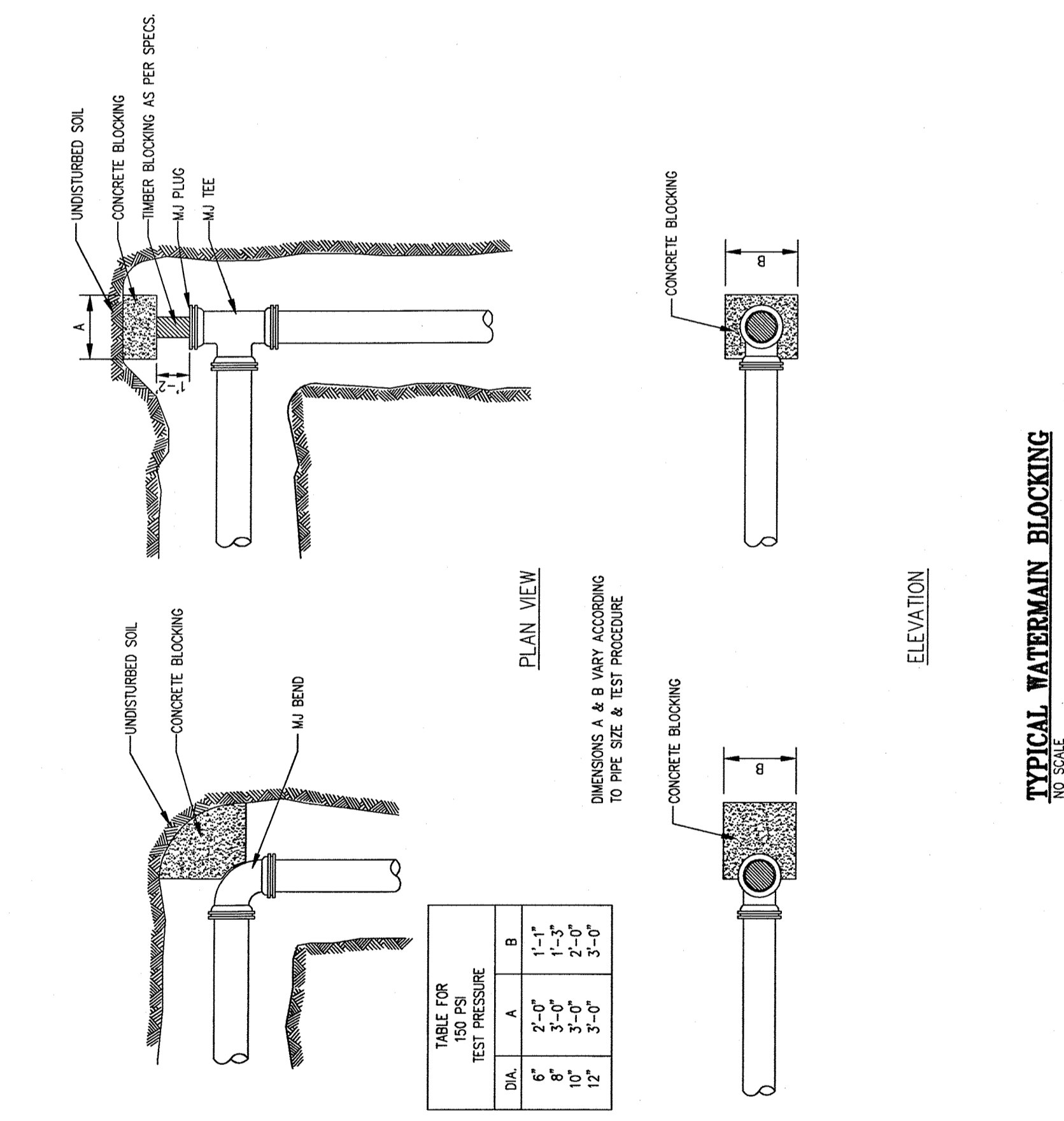
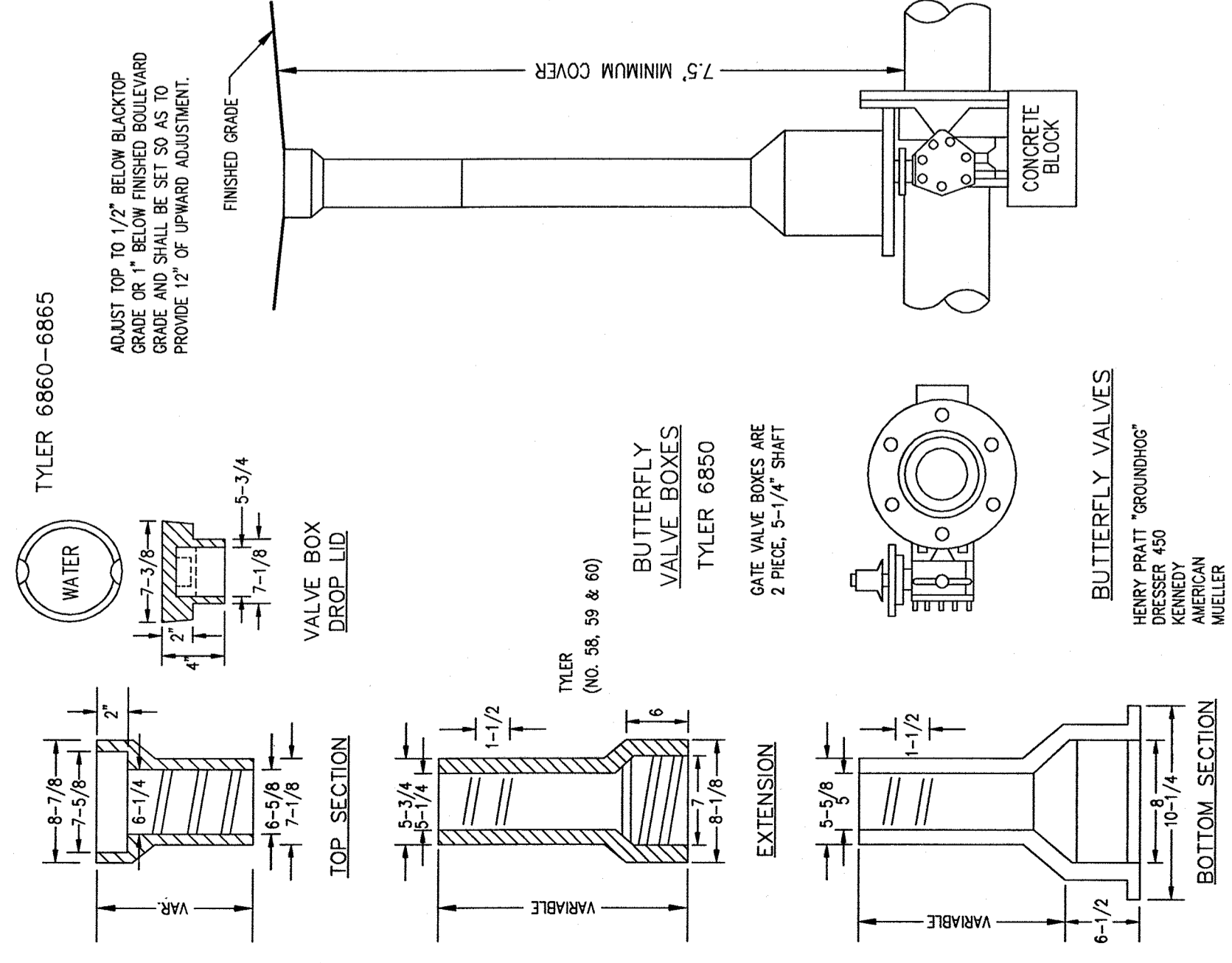
**Project**  
 2003 Centennial Industrial Park Street & Utility Improvements  
 Isanti, MN

**Sheet Title**  
 Utility Plan  
 Plan & Profile

**Sheet**  
 7/19 A

**Revision**  
 MFRA FILE NO.: 13938

**CONTRACTOR: HYDROCON, INC. RECORD PLAN:2004**



**Revisions**

No.	Date	By	Remarks

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]*  
Name: JEFFREY ROOS  
Date: 3/10/03 License #: 10206

**Scale**

Designed	DLK
Drawn	MRD
Date	1/15/03
Checked	DLK
Approved	JUR



**Engineering • Planning • Surveying**

15050 23rd Avenue North • Plymouth, Minnesota • 55447  
phone 763/476-6010 • fax 763/476-8532  
E-Mail: mfra@mira.com

**Client**

City of Isanti  
Isanti, MN

**Project**

2003 Centennial Industrial Park  
Street & Utility Improvements  
Isanti, MN

**Sheet Title**

Details

**Sheet**

13/19

**Revision**

MFRA FILE NO.: 139338



# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                          |                          | <b>Yes No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located  |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |

June 15, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: 605 East Dual Blvd

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed welding and fabrication business to be built on parcel 161570030.

Isanti Fire supports the conditions outlined in the 5/26/2022 civil plans ensuring that all construction complies with City of Isanti fire codes; per City of Isanti Code 111-113: *Adoption of MN State Fire Code*.

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a faint circular stamp.

Alan Jankovich | Fire Chief  
Isanti Fire District



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 21, 2022

SUBJECT: Site Plan Review and Conditional Use Permit for Gopher State Storage located at 501 W Dual Blvd NE

---

**Request:** The applicant, State Storage Shafer, LLC is requesting Site Plan and Conditional Use Permit (CUP) approval for self-storage facilities located at 501 W Dual Blvd NE.

### **Overview/Background:**

The City of Isanti received a site plan and conditional use permit application for a self-storage facility located at 501 W Dual Blvd NE in the Industrial Park District. The site currently has an existing building used as storage on the southwest corner and also holds a fiber optic tower just north of this building. Plans show that the applicant will coordinate with the private utility company to relocate electric fiber and gas.

A Conditional Use Permit is needed for “self-storage facilities” to operate in the I-1 Industrial Park District. CUP standards are set in Section 21 of the Zoning Ordinances and shall be followed to approve the CUP.

The site plans propose four buildings of various lengths and sizes. The buildings are planned to be 7,600 sq ft, 9400 sq ft, 11,600 sq ft, and 10,200 sq ft for a total of 38,800 sq ft of storage space. Based on the exterior elevation plans and garage door counts, there will be roughly 67 separate storage units.

**Analysis of Application:** The site plan for the storage units shall comply with the following requirements for the I-1 Industrial Park District:

### Setbacks – Principal Building

*Front Yard* There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.

*Side Yard* There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.

*Rear Yard* There shall be a rear yard not less than thirty (30) feet in depth.

*The orientation of the buildings will be vertical running north and south. This lot is unique based on the access point being on the southeast corner of the site, where West Dual Blvd turns into North Dual Blvd. The eastern most building maintains at least a 30 ft setback from the entrance/property line and a side setback of 15 ft from the east. The building on the far west of the site will be setback at least 30 ft from the property line near the BNSF rail line. The buildings as proposed will meet all setback requirements in the I-1 Industrial Park District.*

#### Impervious Surface Coverage

The total ground area covered by all structures and uses (permitted, accessory, and conditional, including parking lots) on the lot shall not exceed seventy-five (75%) percent.

*The site plans show a proposed impervious area total of roughly 62%. This total makes up the self-storage buildings and proposed bituminous surface. A large majority of the pervious surface will be for the stormwater pond on the north end of the site and grassed areas around the perimeter of the curbing.*

#### Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The driving lanes on site are proposed to be a bituminous surface and are 30 ft in width. The driving lane on the far west of the site is currently proposed at 24 ft in width. City staff requires that this driving lane be widened to at least 27 ft to meet proper site circulation standards.*

#### Fencing and Screening

Fencing and Screening for industrial uses shall be accomplished through the use of either a screening fencing or planning screen, which meets the requirements as stipulated within Section 15 of this Ordinance. The Planning Commission shall review and make a recommendation with final approval granted by the City Council.

*There is a chain link fence proposed around the perimeter of the curbed area on site. The site is naturally shielded from surrounding businesses by the existing tree line along the west of the site. The location around the curve of W Dual Blvd along with added landscaping around the entrance makes the self-storage facility fairly hidden from the road and will be largely shielded from the business to the south. More intense shielding would be needed if the site was surrounded by a residential district, but the surrounding uses include the rail line, and two other Industrial businesses.*

### Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

*A photometric plan was not submitted at the time of the application. A photometrics plan shall be provided to city staff to review lighting designs used on site and the locations of the lights. Lighting designs should follow City Ordinance Section 14, Subdivision 5 Outdoor Lighting Standards.*

### Building Design and Construction

The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.

*Exterior building materials include corrugated steel on all sides and the roofs of the storage units. The floors are wooden ribbed planks that are situated on the frame. The proposed new buildings match the existing self-storage buildings in the Industrial Park Zoning District.*

### Landscaping.

The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

*The site landscaping plan provides a total of 33 new trees of multiple varieties including oaks, arborvitaes, and spruce. Based on the 1 tree per 10,000 square foot standard, the applicants would be required to provide at least 17 trees on the property:*

*(163,049 sq ft lot / 10,000 sq ft tree requirement = 16.3 trees) Calculation rounds up to 17 trees.*

*The applicants have provided enough trees and plantings on site to meet the landscaping ordinance.*

### Turf Requirements.

All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

*According to the site landscaping plan, the area that is surrounding the curbing is proposed to be seeded. The city's turf requirements found in Section 15 of the Zoning Ordinances require areas disturbed by construction to be sodded.*

### Conditional Use Permit.

Self-storage facilities are a Conditional Use and must follow criteria prior to approval. The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.  
*The site is guided I-1 Industrial Park District and Self-storage is consistent with industrial development.*
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.  
*The proposed use is adding self-storage to the site, the storage units meet the purpose and intent of the zoning ordinances found in the Industrial Park District.*
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.  
*The establishment will not be detrimental or endanger the public and will provide additional storage opportunities for residents, enhancing the look of the community in residential neighborhoods.*
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.  
*The conditional use is not intended to diminish or impair surrounding property values in the Industrial Park Zoning District.*
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.  
*The surrounding areas are already developed and the proposed self-storage facility shouldn't have an effect on the orderly development and improvement of surrounding property.*
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.  
*Self-Storage facilities need minimal city services for operations. The utility plans show hook ups available at the street if needed, and the site currently has electric for the existing building on the southwest corner.*

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.  
*The zoning criteria for the Industrial District will be met for the proposed use of self-storage.*
8. The conditional use complies with the general and specific performance standards as specified by within this Article.  
*The proposed self-storage facility meets the performance standards specified in this article.*

**Staff Recommendation:** Staff recommends approval of the Site Plan and Conditional Use Permit for the self-storage facilities with the following conditions:

1. The applicants shall submit a site photometrics plan and the lighting designs used shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
2. All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances.
3. Landscaping shall follow Section 15, Subd. 5 of the City Zoning Ordinances for Turf Requirements.
4. Applicant shall apply for all permits associated with the building of the self-storage facilities including but not limited to a building permit, mechanical permit, plumbing permit and electrical permit.
5. Any comments requested in the City Engineer's Memo, dated June 3, 2022.

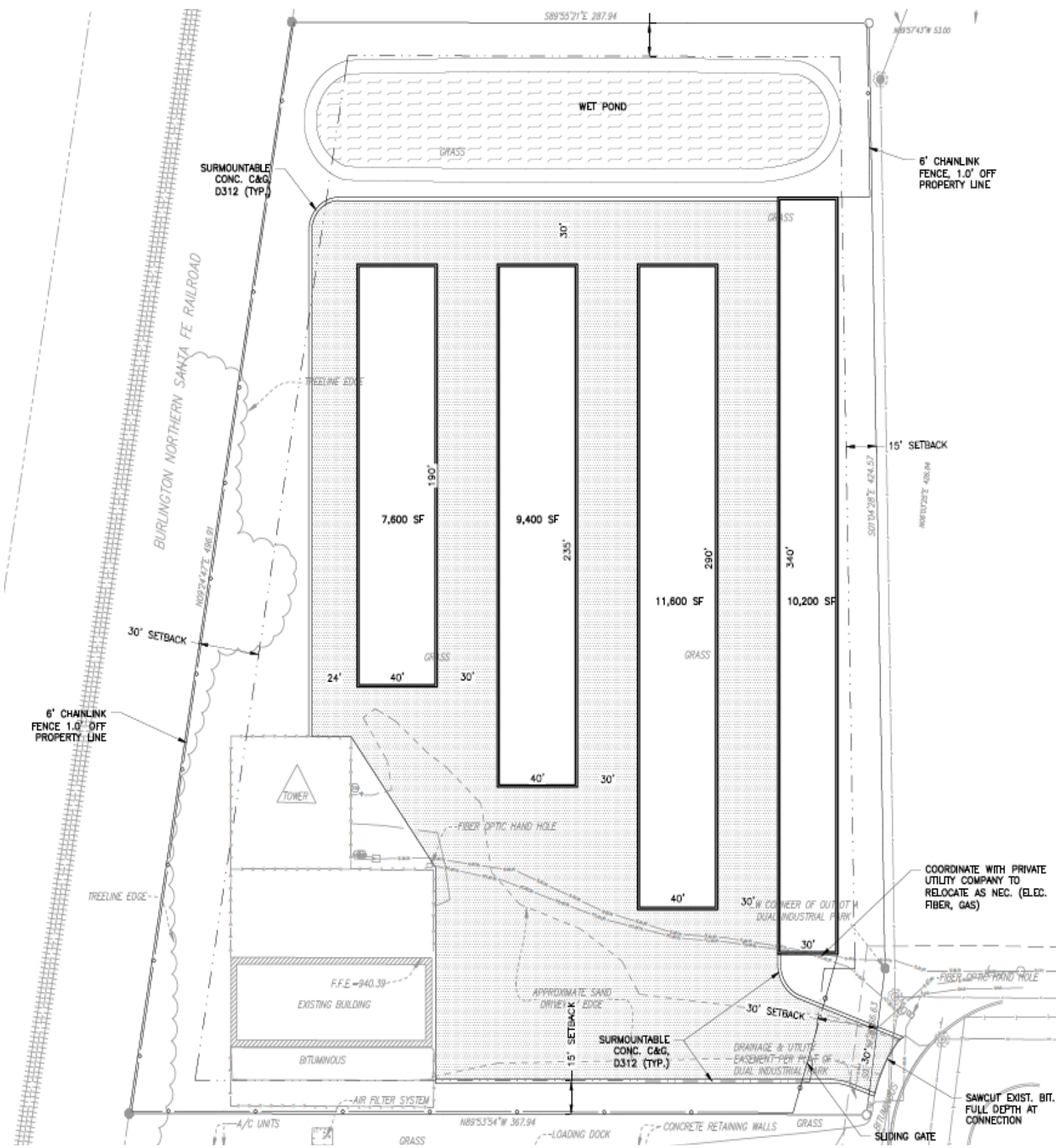
**Attachments:**

- Site Plans
- Landscaping Plans
- Exterior Elevations
- Engineering Memo dated June 3, 2022



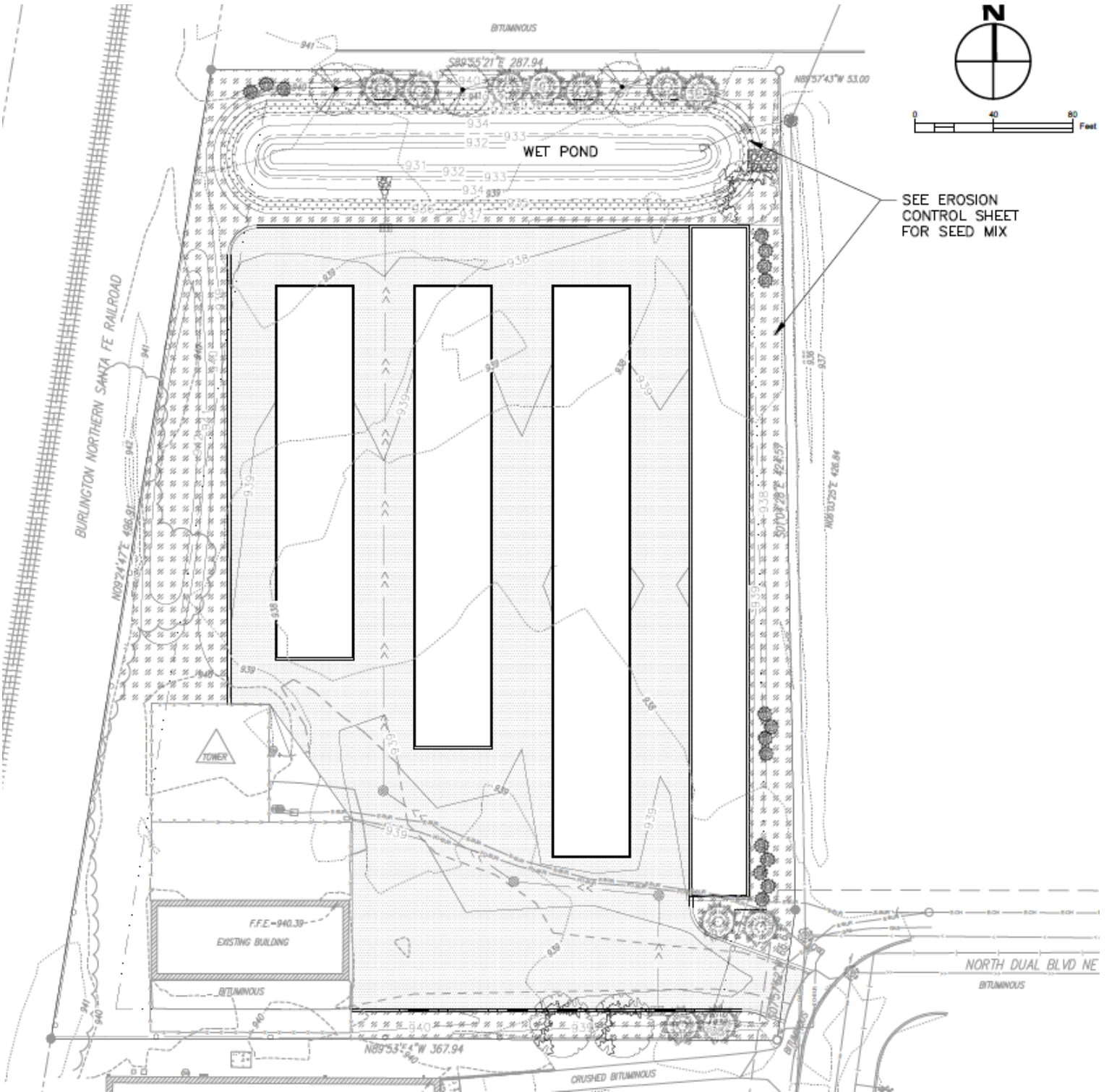
**Project: Gopher State Storage**

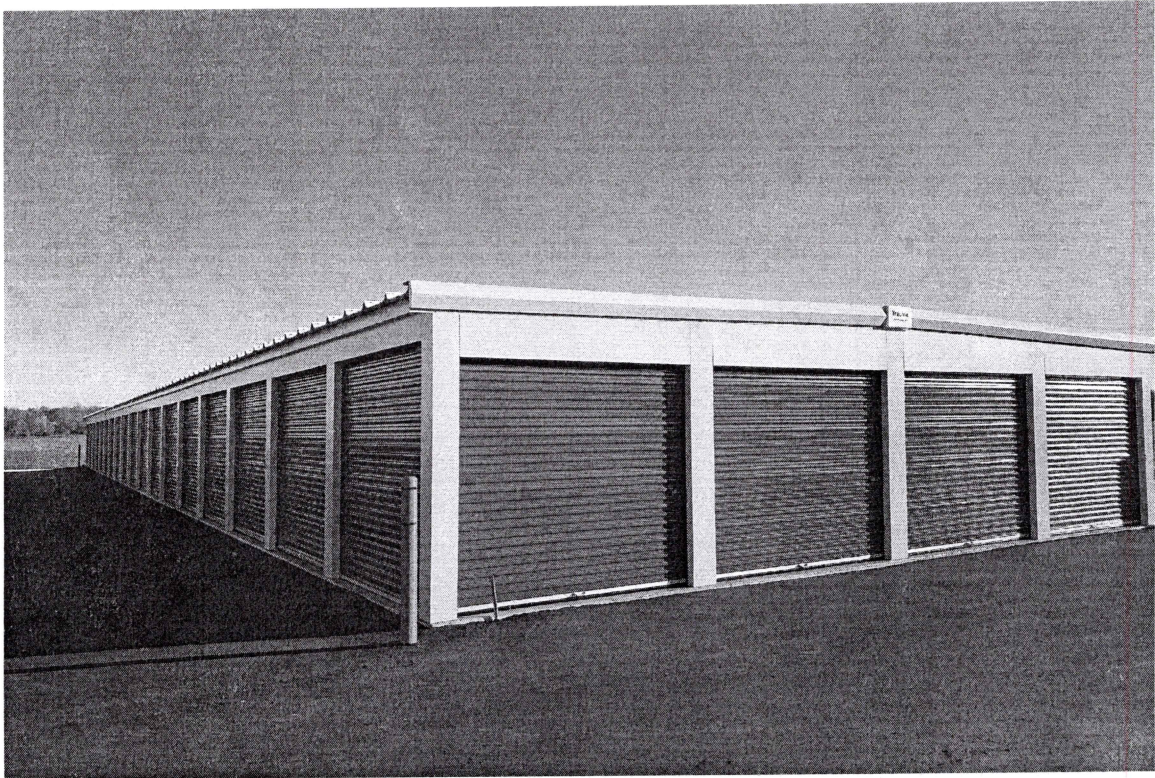
Does this project meet the standards of the current Zoning District?	Yes, the site is located in the I-1 Industrial Park District and the project meets the standards set by this zoning district
Are any Conditional Use Permits, Interim Use Permits or Variance applications required with this project? (If Yes, what for?)	Yes, a Conditional Use Permit has been submitted for Self-Storage in the Industrial District
If the previous question was answered “Yes”, are all criteria for a CUP, IUP, or Variance met?	Yes, the self-storage facility will meet the Conditional Use Permit standards set in Section 21, Article 2 of the City’s Zoning Ordinances
Does this project follow the goals of the City’s Comprehensive Plan?	Yes, the self-storage building is complementary of surrounding uses and businesses in the Industrial Park and will provide residents more opportunities for storage, a growing demand as the city develops
Does staff recommend approval? Are there any recommended conditions for this project?	Staff recommends approval with the following conditions: <ol style="list-style-type: none"><li>1. The applicants shall submit a site photometrics plan and the lighting designs used shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti’s City Zoning Ordinances.</li><li>2. All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City’s Zoning Ordinances.</li><li>3. Landscaping shall follow Section 15, Subd. 5 of the City Zoning Ordinances for Turf Requirements.</li><li>4. Applicant shall apply for all permits associated with the building of the self-storage facilities including but not limited to a building permit, mechanical permit, plumbing permit and electrical permit.</li><li>5. Any comments requested in the City Engineer’s Memo, dated June 3, 2022.</li></ol>

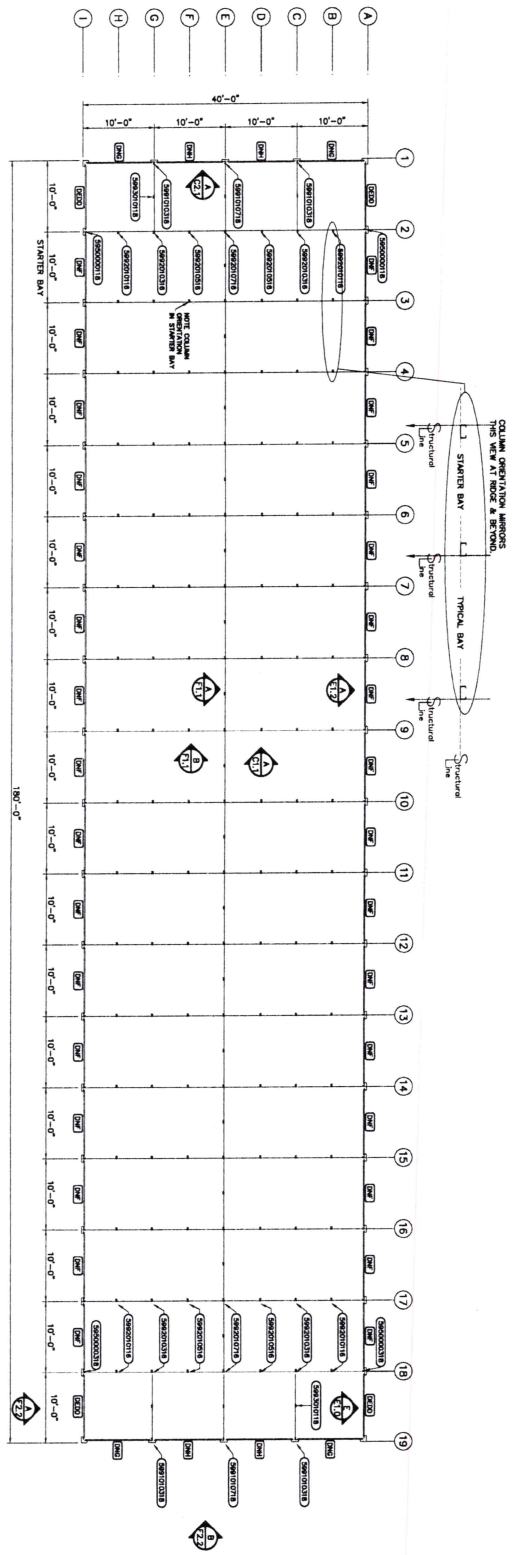


COORDINATE WITH PRIVATE UTILITY COMPANY TO RELOCATE AS NEC. (ELEC. FIBER, GAS)

SAWCUT EXIST. BIT. FULL DEPTH AT CONNECTION





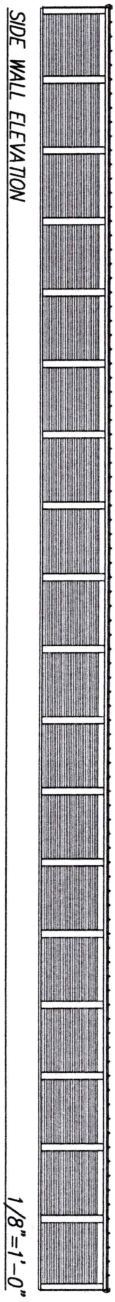
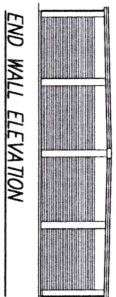
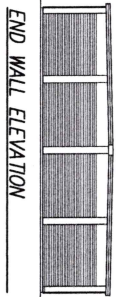


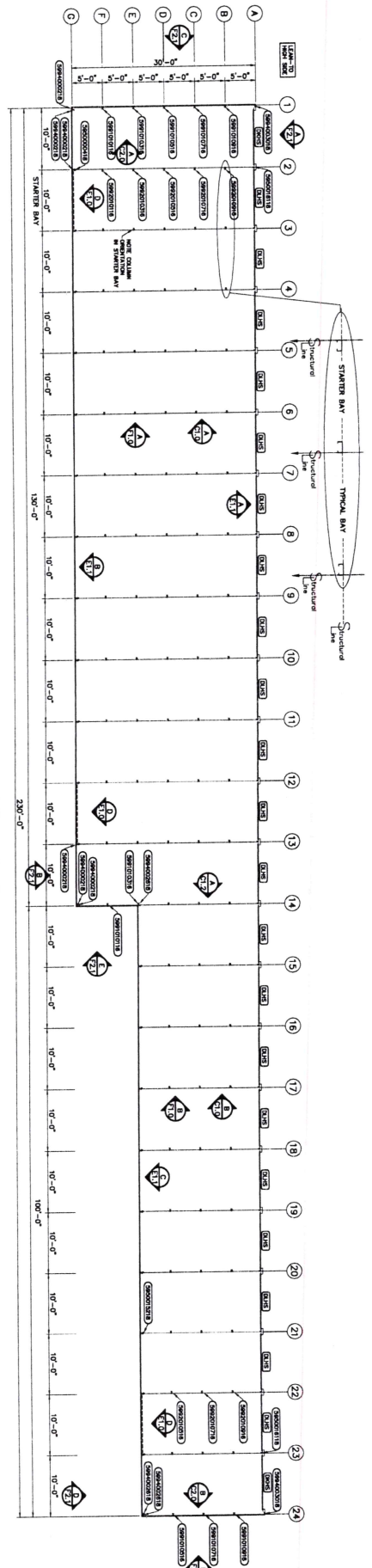
FLOOR PLAN FOR 9'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING #2 & #3 1/8" = 1'-0"

QTY	CODE	TYPE	SIZE	COLUM OPERATIONAL MARKING	MANUFE	NON-OPERATIONAL DOOR, 944	DESCRIPTION
4	DRD0	ROLL-UP	8'-8" X 8'-0"	8'-8" X 8'-0"	TRAC-NITE/AG	ROLL-UP DOOR, 944	
32	DNF	ROLL-UP	9'-0" X 8'-0"	9'-0" X 8'-0"	TRAC-NITE/AG	ROLL-UP DOOR, 944	
4	DNG	ROLL-UP	8'-8" X 7'-6"	8'-8" X 7'-6"	TRAC-NITE/AG	ROLL-UP DOOR, 944	
4	DNH	ROLL-UP	9'-0" X 7'-6"	9'-0" X 7'-6"	TRAC-NITE/AG	ROLL-UP DOOR, 944	

ROLL-UP DOORS MEET ASTM E330

DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES

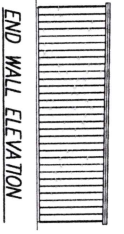




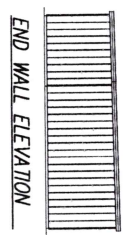
FLOOR PLAN FOR 9'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING #1 1/8" = 1'-0"

DOOR SCHEDULE			
QTY	CODE	TYPE	SIZE
2	DKHS	ROLL-UP	8'-8" x 8'-7"
21	DHHS	ROLL-UP	9'-0" x 8'-7"
			ROUGH OPENING
			8'-8" x 8'-7.5"
			9'-0" x 8'-7.5"
			MANUF.
			TRAC-RITE/sq.
			TRAC-RITE/sq.
			ROLL-UP DOOR, 944
			DESCRIPTION
			ROLL-UP DOOR, 944

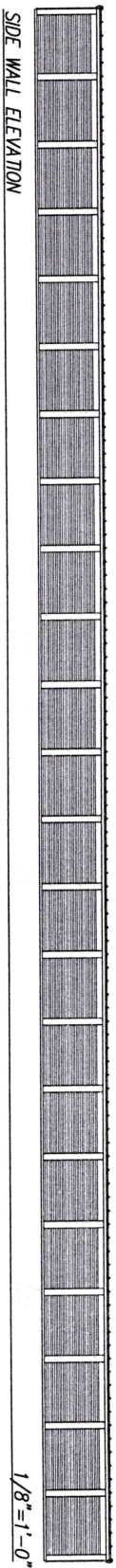
ROLL-UP DOORS MEET ASTM E330 DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES



END WALL ELEVATION

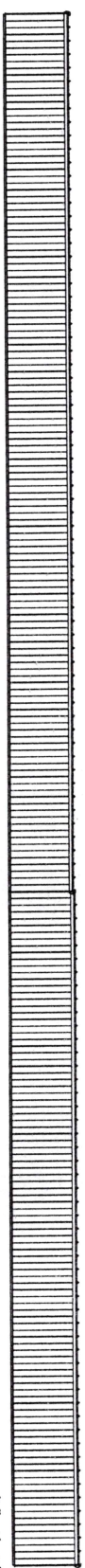


END WALL ELEVATION



SIDE WALL ELEVATION

1/8" = 1'-0"



SIDE WALL ELEVATION

1/8" = 1'-0"

	JOHN HENRY HWY 8 STORAGE QUANDAM LANE SHAPER, MN	This drawing and all parts thereof is the exclusive property of Trachte Building Systems, Inc. 374 Wilbur Road, Sun Prairie, Wisconsin (608)255-8224 (Local 608/832-7889) and may not be reproduced in whole or part without written permission.	I hereby certify that this plan, specification, or report was prepared by me or under the direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
	Job Description FLOOR PLAN BUILDING #1	Date 7/18/2020	Print Name: Joel G. Howard Signature Date: 07/27/2020 License #: 46221



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** June 3, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Gopher State Storage – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Gopher State Storage” with a signature date of May 27, 2022.

The plan includes the construction of 4 new storage buildings, paved drive lanes and a storm sewer system with a pond.

An existing and proposed stormwater model was also submitted.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C2.01 Site Layout:
  - a. Western most drive lane shall be a minimum of 27’ face of curb to building face to allow vehicle movements around stopped cars and fire truck access around buildings.
  - b. Curb & gutter shall be constructed around the full perimeter of the new pavement including the SW area of the site.
  - c. Reconstruct the existing driveway apron onto North Dual Boulevard to convey the storm water from the proposed curb & gutter draining to the street.
  - d. General Comment: Relocating fiber optic lines can be difficult. This may delay construction or not be cost effective, may want to consider shortening the eastern most building to avoid the conflict.
2. Sheet C5.01 – Grading & Drainage Plan:
  - a. Verify water will not be trapped on adjacent driveway to the south where proposed contour 938 appears to dam off low area onto adjacent property with no outlet.
  - b. The storm water pond will need to have an impervious liner to ensure no infiltration occurs and the dead storage is maintained.
3. Sheet C6.01 – Erosion Control Plan:
  - a. All turf establishment outside of the proposed pond embankment slopes shall be sod, not seed, per City standard.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

4. Sheet C6.02 – SWPPP Narrative:
  - a. Submit pond maintenance plan.
  - b. Submit NPDES Permit to City prior to beginning work.
  - c. Submit City SWPPP checklist (attached)

Stormwater Modeling:

1. No Comments.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                          |                          | <b>Yes No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located  |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

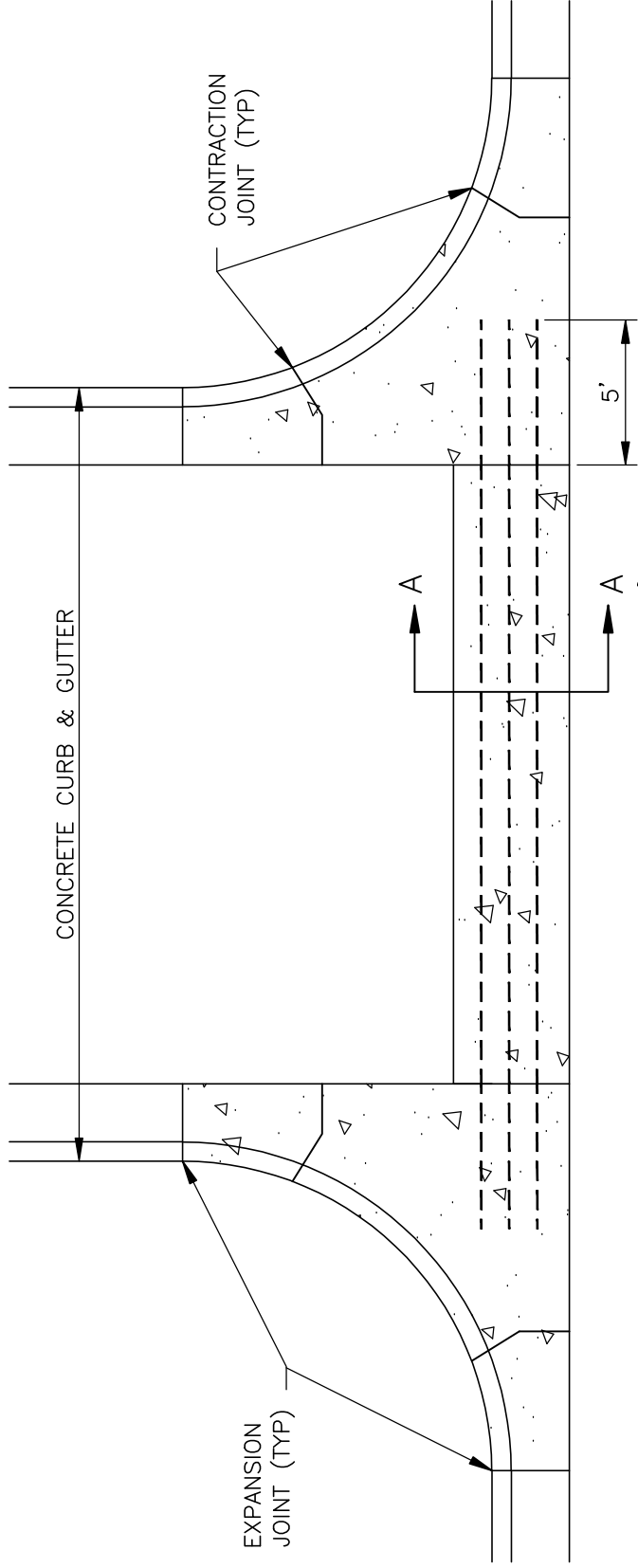
- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

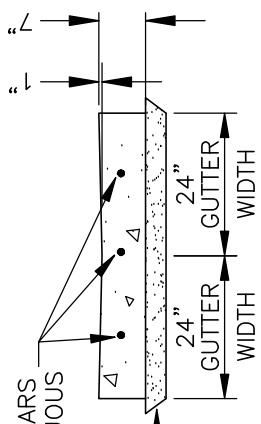
- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER

NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REVISIONS:			
ORIG. PROJ:		REMARKS:			
PROJ. #:		ENG/TECH:			



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, July 19, 2022  
Immediately following 7:30pm Budget Work Session  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the June 21, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Marcus Construction for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Dairy Queen restaurant with a drive-thru and an outdoor patio area located in the B-2 General Business District and Highway 65 Overlay District at 280 5<sup>th</sup> Ave NE
- B. Request by resident, Thomas Bowen, for amendment to City Ordinance 445, Section 6, Articles 1,2,3,4,5 and 6 under "Special Regulations". Said request is to include metal as an acceptable roofing material in all Residential Zoning Districts.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

**CITY OF ISANTI****PLANNING COMMISSION MEETING****TUESDAY, June 21, 2022**

Immediately following the 7:00 P.M City Council Meeting;

**1. Meeting Opening**

- A. Call to Order: Chair Johnson called the meeting to order at 7:45 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Arissya Simon  
Members Absent: Alexander Collins, Dan Collison  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 5-0.

**2. Meeting Minutes**

- A. Approval of Minutes from the May 17, 2022 Special Planning Commission Meeting and the May 17, 2022 Planning Commission Meeting, motion by Lundeen, second by Bergley, motion passes 5-0.

**4. Public Hearing**

- A. Request by RK Unlimited Properties, LLC for Site Plan Approval under City Ordinance 445, Section 18, said request is for a manufacturing facility located in the I-1 Industrial Park District at 605 E Dual Blvd NE for Unlimited Welding.

Saltis presented the request for Site Plan Approval for an Industrial Building for RK Unlimited Welding. The applicants representing RK Unlimited Welding were present at the meeting and available for questions from the Planning Commission. The Planning Commission asked the applicant where the business is currently located and how many employees they intend on hiring. The applicants said that they are currently located in Ham Lake and intend on hiring about 10-15 employees at the proposed facility. There was no one else from the public present to speak on this item and the public hearing closed. Motion for approval of the site plans was made by Lundeen and seconded by Simon, motion passed 5-0.

- B. Request by State Storage Shafer, LLC for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Self-Storage Facility located in the I-1 Industrial Park District at 501 W Dual Blvd NE.

Saltis presented the request for a Conditional Use Permit and Site Plan Approval for Gopher State Storage. It was explained that the Conditional Use Permit is needed for a self-storage facility in the I-1 Industrial Park Zoning District. The applicant, John Henry of State Storage Group was present at the meeting and available for questions from the Planning Commission. The applicant explained the locations of other storage facilities that the group owns and the reputation that they have built around the area. The applicant mentioned a few modifications to the plans submitted regarding the storage unit location along the railroad tracks and the stormwater pond soils. Staff requested that these be submitted for their review. There was no one else from the public present to speak on this item. Motion was made to approve the Conditional Use Permit and Site Plans by Lundeen seconded by Bergley, motion passed 5-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Lundeen, 2<sup>nd</sup> by Bergley to adjourn, motion passed 5-0, meeting adjourned at 8:09 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: July 19, 2022

SUBJECT: Site Plan Review and CUP Approval for a Dairy Queen building with a drive-thru and outdoor patio area located at 280 5<sup>th</sup> Ave NE

---

**Request:** The applicant, Marcus Construction is requesting site plan and CUP approval for a proposed building with a drive thru and outdoor patio area located at 280 5<sup>th</sup> Ave NE for a Dairy Queen restaurant.

**Overview/Background:** The applicant would like to construct a building on a 1.1-acre vacant lot located just south of the Allina Clinic. This parcel is currently zoned B-2 General Business and is also within the Highway 65 Corridor Overlay District. A “Restaurant”, “Drive-Thru” and “Outdoor Patio” are all Conditional Uses in the B-2 General Business District.

The building is proposed to be 3,225 square feet and will consist of an indoor dining area, two kitchen spaces, bathrooms, an office and a breakroom. An outdoor patio of roughly 750 square feet is proposed for use during seasons that would allow for customers to sit outside. The site is designed to accommodate twelve cars stacked in the drive-thru area, with a designated bypass lane running parallel to the drive-thru lane. There will be two drive-thru ordering lanes that will merge into one after ordering. Thirty-three parking stalls are displayed on the site plans, with twenty-four standard parking stalls, 3 bus parking stalls, 2 curbside pickup stalls, two drive-thru wait stalls and two handicap accessible stalls.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for both the B-2 General Business District and the Highway 65 Corridor Overlay District:

### **Lot Requirements**

- Lot Size 1 acre
- Minimum Building Size 15% of lot size

*The area of the parcel is roughly 48,000 square feet or 1.1 acres in size. The proposed building on site is about 3,225 square feet and will not meet the minimum building size requirement (15%*

*of lot size) in the Highway 65 Overlay District. The area of the proposed building will be 6.7% of the total lot size. According to Subdivision 10 of the Highway 65 Overlay District, dimensional flexibility is allowed. The City Council may approve modifications of one or more area or dimensional standards of an underlying district if an applicant demonstrates such modification will result in better integration of uses or additional public amenities that will further the intent of the district. The proposed dimensions allow for the required parking and drive-lanes resulting in better integration of the site plans for the district.*

### **Setbacks and Height Restrictions – Principal Building**

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Street Side Yard Setback 20 feet
- Rear Yard Setback 15 feet
- Highway 65 Setback 100 feet
- Maximum Building Height 3 Stories or 45 ft, whichever is less

*The proposed building will be located roughly in the middle of the lot and will meet all required setbacks. The building will be single story and will not exceed the 45 ft height requirement.*

### **Impervious Surface Coverage**

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter. (Ord. No. 618)

*The proposed development intends on having 73% impervious surface on site. The landscaping requirement of 25% of the total lot area as green space will be met.*

### **Parking Lot Setbacks**

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from property lines.*

### **Parking Standards**

#### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

#### **Commercial Uses**

- |                                   |   |
|-----------------------------------|---|
| Fast food, drive-thru restaurants | 1 space for every 3 seats and 1 space for every employee on the peak shift, plus stacking space for 6 vehicles per service lane |
|-----------------------------------|---|

*Based on this number of required parking spaces standard and the use of the commercial building, the site will have a sufficient amount of parking stalls on site. The site plans indicate 33 parking stalls total, in which twenty-four are standard parking stalls, three are bus parking stalls, two are curbside pickup stalls, two are drive-thru wait stalls and two are handicap accessible stalls. The site plans meet the required number of parking spaces for the development.*

**Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.
- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

**TABLE 9: Parking Lot and Parking Stall Dimensions**

<b>Angle of Parking</b>	<b>Stall Width</b>	<b>Curb Length Per Car</b>	<b>Stall Length</b>	<b>Aisle Width One Way</b>	<b>Aisle Width Two Way</b>
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet
75 degrees	9 feet	9 feet	20 feet	23 feet	24 feet
60 degrees	9 feet	10 feet	22 feet	18 feet	24 feet
45 degrees	9 feet	12 feet	25 feet	13 feet	24 feet

*The site features both 90-degree parking and 45-degree parking stalls and will follow the required stall dimensions of 9 feet in width and 19 feet in length. The 45 degree-parking stalls will be lengthened to 22 ft. The drive aisle widths are proposed at 26 feet and meet the requirement for one-way vehicle circulation.*

**Handicapped Parking Requirements**

The number of handicapped parking stalls required shall be in accordance with the following table:

<b>Total Number of Parking Spaces in Lot</b>	<b>Required Minimum Number of Accessible Spaces</b>
1 to 25	1

- A. Each designated handicapped space shall be eight (8) feet in width with an adjacent five (5) foot wide access aisle. Total space width of thirteen (13) feet.
- B. A designated van accessible space shall be eight (8) feet in width with an adjacent access aisle totaling eight (8) feet in width. Total space width of sixteen (16) feet.
- C. Designated handicapped spaces shall be provided along an accessible route located as near as possible to an accessible entrance.

- D. Each space shall contain signage with the international symbol of accessibility. Indicating that a permit is required and notifying of a two hundred (200) dollar maximum fine for violation.

*The two designated handicapped stalls are proposed at 9 ft in width and will have a 9 ft wide access aisle in between the two stalls. The handicap stalls are located near the building and will have an accessible sidewalk with a curb ramp in the access aisle. Accessible parking signs are proposed in front of both handicap parking stalls.*

### **Bicycle Parking**

*Bicycle parking is required for all new construction commercial developments in the city and is determined by the number of required car parking stalls. Since this site will have more than 20 parking stalls, the development is required to include at least 2 bike parking spaces. Bicycle parking is not indicated on submitted plans and will be a condition of approval for the site. City staff will review the location of the bike racks and proximity to the building in accordance with the standards set in Section 17, Subdivision 14 of the City's Zoning Ordinances.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas and drive-thru lanes are proposed to be surfaced with light and heavy-duty bituminous pavement. Drive aprons around the site entrances, sidewalks and the outdoor seating patio will be surfaced with concrete.*

### **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

#### **Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
  1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:

- a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
- b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*A photometrics plan was submitted with foot candle readings and lighting types used on the site. Based on the foot candle readings on the photometrics plan these light sources will meet most criteria listed in Section 14 of the City Zoning Ordinance. Some foot candle readings exceed the maximum 5 ft candles measured at a non-residential property line, but is not foreseen to impact the surrounding areas in which the light projects. Seven total downlit light poles are proposed to be placed around the parking areas and curbing.*

### **Visibility**

No sign shall be so located as to restrict the sight, orderly operation, and traffic movement within any parking area.

*There is proposed signage near the south curb cut near 5<sup>th</sup> Ave NE. It is not expected that this proposed location of this sign would cause visibility issues for traffic movement since it is directionally a one-way street with vehicles entering the site from 5<sup>th</sup> Ave NE.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around all parking areas and the drive-thru/by-pass lanes.*

## **Striping**

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) wide.

*Four-inch-wide yellow striping will be used across the site for designated parking stalls.*

## **Curb Cuts**

*The curb cuts proposed along 5<sup>th</sup> Avenue NE are 26 feet in width and comply with City Standards.*

## **Exterior Building Materials**

These standards are intended to ensure coordinated design of building exteriors, additions and accessory structure exteriors in order to prevent visual disharmony, minimize adverse impacts on adjacent properties from buildings which are or may become unsightly, and buildings that detract from the character and appearance of the area. It is not the intent of this division of unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, and site characteristics.

A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:

1. Face brick.
2. Natural stone.
3. Glass.
4. Decorative concrete block as approved by the City Council.
5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
6. Masonry stucco.
7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
8. No more than 75% of the building sides visible from Highway 65 may be constructed of decorative concrete block, pre-cast concrete or stucco.
9. The exterior of the building shall have varied and interesting detailing. Large unadorned walls shall be prohibited (50' or more). All large walls viewable from Highway 65 must be relieved by architectural detailing, such as change in materials, change in color, offsets, or other significant visual relief provided in a manner or at intervals in keeping with the size, mass and scale of the wall and its views from the public right-of-way.

10. Exterior building material colors shall be complimentary of other buildings within the district.
11. Exterior elevations of all sides of a proposed building noting the material and color of each component, to include exterior building materials, awnings, mechanical screening material, fencing and the like, shall be submitted with the site plan for determination of compliance with the above requirements.
12. Mechanical equipment
  - a. Ground equipment shall be screened per Section 14, Subdivision 4 Mechanical Equipment.
  - b. Rooftop mechanical equipment, and head-houses for elevators and stairs, shall be concealed from public view.

B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

*Exterior building materials include EIFS Stucco and metal panels in various colors. EIFS panels will be mostly neutral in color, with accent panels of the restaurants signature colors of orange, blue and maroon. Exterior building material colors in the Highway 65 District are to be complimentary of other buildings within the district; the blue and orange siding colors do not specifically match any surrounding buildings in the district but could be acceptable with flexibility and approval from the Planning Commission and City Council. Flexibility has been given for businesses in this district to keep their signature look so that it is recognizable. The exterior of the building has varied detailing with materials, colors and textures on all sides and is architecturally appealing.*

### **Screening, and Landscaping**

A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans. If any outdoor mechanical equipment is proposed, the location must be reviewed by City Staff for the location and screening from surrounding properties.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*There are no loading and service areas displayed on site plans. A building of this size does not require a designated loading area.*

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

*The site does not abut a residential area.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*The refuse and garbage receptacle will be completely screened from 5<sup>th</sup> Ave NE architecturally with a painted fence.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*The site does not surround a residential area.*

- B. **Landscaping.** The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

*A landscaping plan was not submitted with the application. A landscaping plan will need to be submitted to City Staff to review tree and planting locations, types and number of trees. The landscaping plan shall meet all landscaping criteria listed in Section 15 of the City's Zoning Ordinances. The City Landscaping Ordinance requires that the site have at least 8 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage).*

### **Building Orientation**

Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front).

*The building orientation is proposed to have the south elevation as the main storefront/entrance and will also have the east elevation as an entrance for the patio area. The east elevation of the building will face Highway 65 and have signage similar in appearance to the front of the restaurant.*

### **Outdoor Seating**

Food service businesses, including, but not limited to, bakeries, delicatessens, coffee shops, and restaurants, may provide temporary outdoor seating as an accessory use for their patrons, provided the following requirements are met:

- A. An administrative permit shall be reviewed and approved by the City Planner or his/her designee. If the proposed outdoor seating area abuts a residential district, then a Conditional Use Permit is required.

*An administrative permit will not be needed for the outdoor seating area, as a CUP has been applied for and is being reviewed as part of this submittal.*

- B. Seating and furniture shall enhance the appearance of the business.  
*Outdoor seating arrangements will enhance the appearance of the restaurant. Renderings of the outdoor patio area show Adirondack chairs and a fireplace, creating an environment that is consistent with the area and surrounding businesses.*
- C. Seating areas shall be located in a controlled or cordoned area with at least one (1) opening to an acceptable pedestrian walk. When a liquor license is involved, an enclosure is required and the enclosure shall not be interrupted. Access to such area shall be through the principal building only. Signage shall be displayed that restricts the consumption of alcohol outside of the designated outdoor seating area.  
*The outdoor seating area will be accessible by an ADA accessible sidewalk from the parking area. The business will not serve alcoholic beverages and will not have to be completely closed off with the only access being from the inside of the building.*
- D. Seating shall be located and designed so as not to interfere with pedestrian and vehicular circulation.  
*The seating area will be positioned on the east side of the building and will not interfere with traffic or pedestrian circulation. The patio area will be in between the building and drive-thru lanes.*
- E. Seating areas shall be equipped with trash receptacles and shall be periodically reviewed for litter pick up.  
*A trash receptacle is not labeled on site plans but will need to be included for the seating area.*
- F. Seating areas shall not have loud speakers or audio equipment that is audible from adjacent property lines. All exterior sound equipment shall be shut off by ten (10) o'clock p.m.  
*Audio for the seating area is unknown but is not expected that it will be audible from adjacent property lines or played past 10 p.m.*
- G. Lighting shall be permitted to the extent that it only illuminates the designated seating area.  
*Downlit lights are provided according to exterior elevations and will not exceed 1 foot candle around this area according to photometrics plans.*
- H. Seating areas shall not obstruct required accesses, entrances, and exits into the business establishment; but shall be located adjacent to the principal use.

*The seating area will be separate from the main entrance and will be accessible by a side door on the east side of the building. There will not be obstructed accesses, entrances or exits as a result of the outdoor seating area.*

- I. Seating shall not be located in such a manner as to obstruct parking spaces. No additional parking is required for thirty (30) seats or less. Any additional seating over thirty (30) seats shall provide required parking based on one (1) space per three (3) seats.

*The seating layout on site plans show less than 30 seats occupying the outdoor patio space. Additional parking for the outdoor seating area will not be required.*

- J. Any proposed outdoor seating plan over fifty (50) seats shall be reviewed as a Conditional Use Permit.

*The outdoor patio will have less than 50 seats.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*The trash enclosure is proposed to be located on the northwest corner of the site and will be screened architecturally from 5<sup>th</sup> Ave NE and the surrounding property to the north. The colors of the enclosure are consistent with the principal building on site. The trash enclosure is proposed to be illuminated with a light pole to the east for safety of employees.*

### **Mechanical Equipment**

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building and shall be provided in accordance with the regulations as provided within Section 15, Subdivision 3 of this Ordinance.

*Mechanical equipment is not displayed on site plans. If any exterior mechanical equipment is proposed, it shall be labeled on the site plans and reviewed for location and screening.*

### **Drive-Thru Facilities**

Permitted by a Conditional Use Permit only as an accessory use to a business or restaurant providing the following requirements are met:

- A. No drive-thru window shall be adjacent to a public street.

*The proposed drive-thru windows will be located on the north side of the building and will not be directly adjacent to a public street.*

- B. Drive-thru facilities shall be limited to one (1) service window which is part of the principal structure and not more than two queuing lanes, unless approved along with additional landscaping, screening, or other pedestrian amenities such as fencing, seating, raised pedestrian crossings, etc.

*The exterior building elevations display three drive-thru windows and two designated queuing lanes, with a bypass lane running parallel to the drive thru lane on the north side of the building. Staff believes that having more than one drive-thru window will speed up the drive-thru process and allow the business to have separate stations for money collection and food handling.*

- C. There shall not be any additional curb cuts on a public right-of-way exclusively for the use of drive-thru queuing or exit lanes. Drive-thru traffic shall enter and exit from internal circulation drives.

*The curb cuts will be located on 5<sup>th</sup> Ave NE to access and exit the site. These curb cuts will not be used exclusively to enter the drive thru lanes. Traffic will circulate through the parking area to get to the queuing lanes.*

- D. Queuing space for at least four (4) cars or seventy (70) feet shall be provided per drive-thru service lane as measured from but, not including the first drive-thru window or teller station.

*The drive-thru lanes will be able to accommodate 12 cars, with 2 additional waiting stalls ahead of the drive-thru windows.*

- E. Queuing space shall not interfere with parking spaces or traffic circulation with the parking lot or upon the public right-of-way.

*Queuing space is located on the east side of the site and will wrap around the building, while the parking stalls are located on the south side of the building. Car piling near the drive-thru lane is not expected to impact vehicles coming in and out of parking stalls. The building will have two queuing lanes and three drive-thru windows to minimize wait times.*

- F. Alcoholic beverages shall not be served.

*There will be no alcoholic beverages sold on site.*

- G. Exterior loud speakers shall be located a minimum of one hundred fifty (150) feet from any parcel containing a residential use and such speakers shall comply with the noise regulations as provided within Isanti City Code of Ordinances.

*The site does not border a residential area.*

- H. A by-pass lane shall be provided, allowing autos to exit the drive-thru lane from the stacking lane.

*A by-pass lane is provided that runs parallel to the drive thru lane, allowing vehicles to exit the drive-thru lane from the stacking lane.*

- I. Screening of automobile headlights must be provided. Screening shall be at least three (3) feet in height and fully opaque. Screening shall consist of a wall, fence, dense vegetation, berm or grade change or similar screening as determined to be acceptable by the City Council.

*A landscaping plan was not submitted with the application. A landscaping plan will need to be submitted to City Staff to review tree and planting locations, types and number of trees. The landscaping plan shall meet all landscaping criteria listed in Section 15 of the City's Zoning Ordinances.*

### **Signs**

*The site proposes wall signage on three sides of the building with the DQ logo and two freestanding pylon signs near Highway 65 and 5<sup>th</sup> Ave NE. These signs will need to follow criteria listed in both the B-2 General Business District as well as the Highway 65 Overlay District. According to the sign regulations found in Section 16 of the City's Zoning Ordinances, each site is allowed only one freestanding sign. The sign package for DQ is proposed to have*

*one freestanding pylon sign facing Hwy 65 and another pylon sign facing 5<sup>th</sup> Ave NE. Since the sign package is completed with the submittal of the site plans, the Planning Commission and City Council can make recommendation to allow for two freestanding signs on site. Staff believes that two signs on this lot are reasonable since there are two road frontages. The sign plans show a dynamic sign with an electronic message board. Dynamic signs are permitted in the B-2 and TH 65 Overlay Zoning Districts. Specific regulations shall be followed for a dynamic sign found in Section 16, Subdivision 6 of the City's Zoning Ordinances. Menu boards for the drive thru are not proposed to exceed 60 square feet.*

**Staff Recommendation:** Staff recommends approval of the proposed Dairy Queen building site plans and Conditional Use Permit located at 280 5<sup>th</sup> Ave NE with the following conditions:

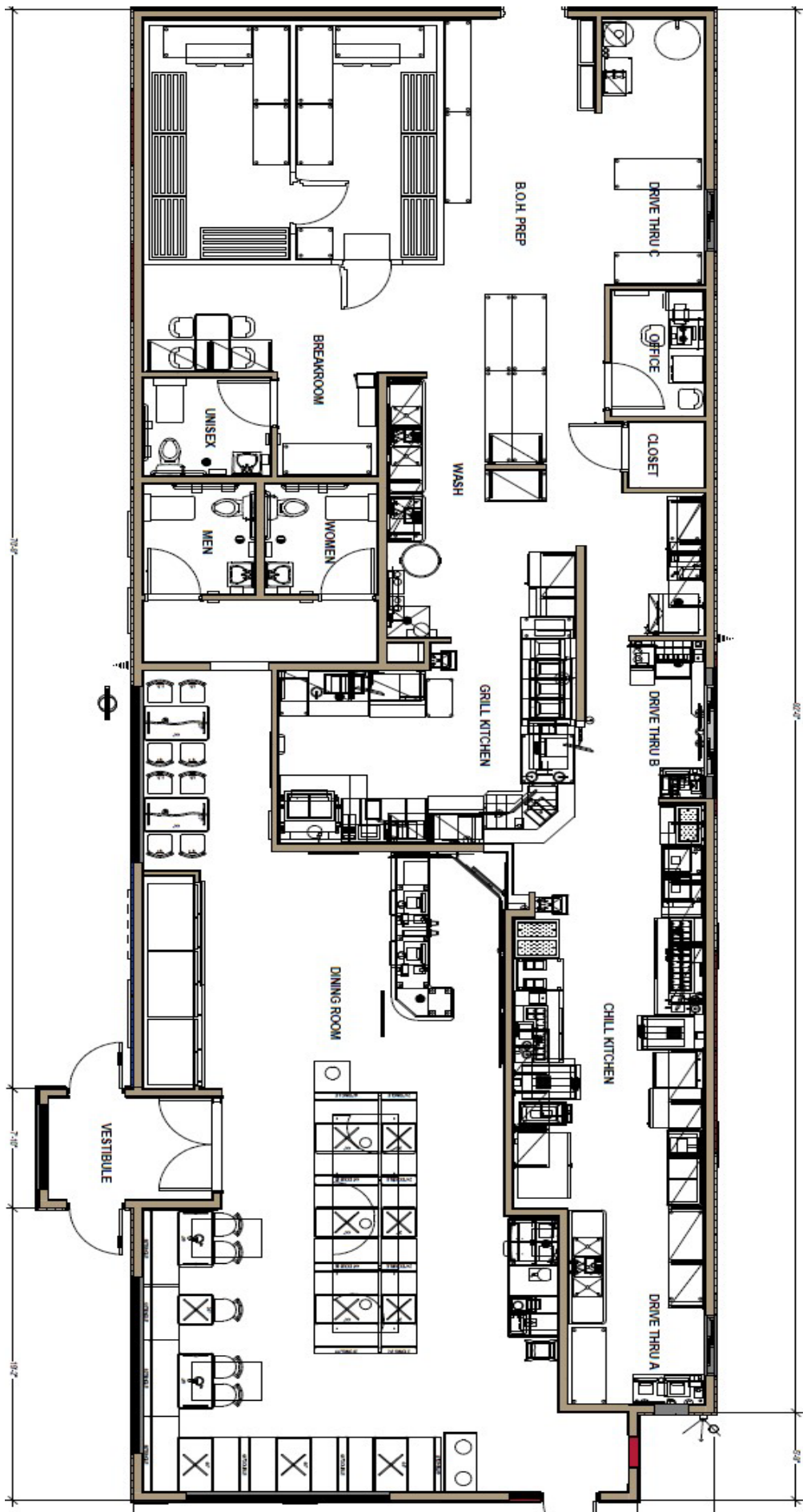
Conditions:

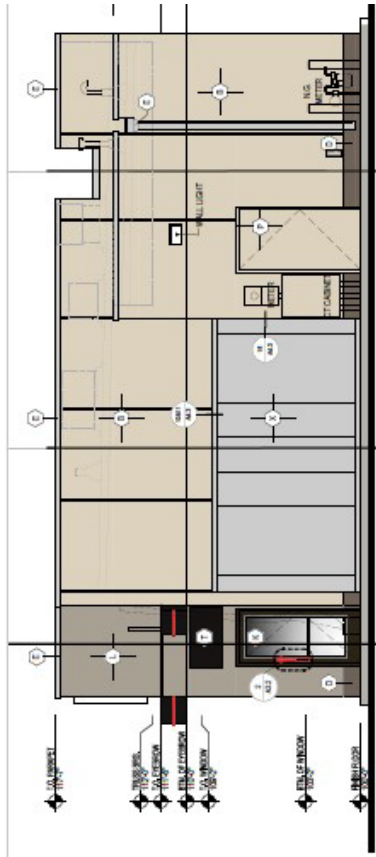
- The site is required to provide at least 2 bike parking stalls in accordance with Section 17, Subd. 14 of Isanti's Zoning Ordinances
- A landscaping plan shall be provided for review by City Staff and shall meet all criteria listed in Section 15 of the City's Zoning Ordinances.
- One freestanding pylon sign is permitted on site, if the applicants would like a second pylon sign near the entrance, it must be approved by the City Council
- If the freestanding sign near 5<sup>th</sup> Ave NE is approved by the City Council, it must be located at least 10 ft from property lines
- The dynamic sign shall follow regulations found in Section 16, Subdivision 6 of the City's Zoning Ordinances
- A trash receptacle shall be placed within the outdoor seating area
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 7/7/2022.

**Attachments:**

- Site Plans
- Floor Plans
- Exterior Elevations
- Sign Plans
- Engineer's Memo Dated 7/7/2022
- Fire Chief's Memo

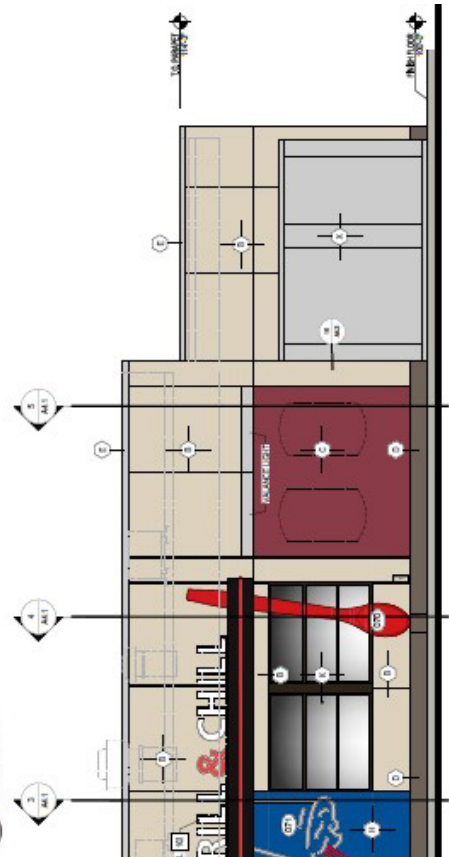






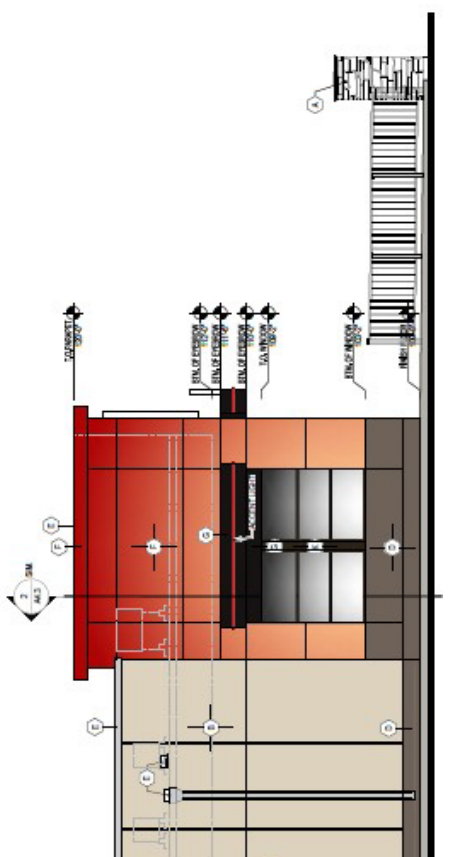
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION UNLESS OTHERWISE SPECIFIED SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) REQUIREMENTS. ALL MATERIALS SHALL BE COORDINATED WITH THE ARCHITECT'S MATERIAL SCHEDULE.



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION UNLESS OTHERWISE SPECIFIED SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) REQUIREMENTS. ALL MATERIALS SHALL BE COORDINATED WITH THE ARCHITECT'S MATERIAL SCHEDULE.



**ENTRANCE ELEVATION**  
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION UNLESS OTHERWISE SPECIFIED SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) REQUIREMENTS. ALL MATERIALS SHALL BE COORDINATED WITH THE ARCHITECT'S MATERIAL SCHEDULE.



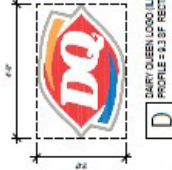
**A** DARY QUEEN LOGO (ILLUM)  
PROFILE = 46.4 SF RECTANGULAR = 45.1 SF



**B** DARY QUEEN LOGO (ILLUM)  
PROFILE = 31.1 SF RECTANGULAR = 46.7 SF



**C** DARY QUEEN LOGO (ILLUM)  
PROFILE = 18.8 SF RECTANGULAR = 27.8 SF



**D** DARY QUEEN LOGO (ILLUM)  
PROFILE = 8.3 SF RECTANGULAR = 13.5 SF



**101** 1 1/4" H. CHANNEL LETTERS  
INTERNALLY ILLUMINATED  
PROFILE AREA = 14.75 SF  
RECTANGULAR AREA = 39.44 SF



**102** 1 1/4" H. CHANNEL LETTERS  
INTERNALLY ILLUMINATED  
PROFILE AREA = 12.22 SF  
RECTANGULAR AREA = 34.55 SF

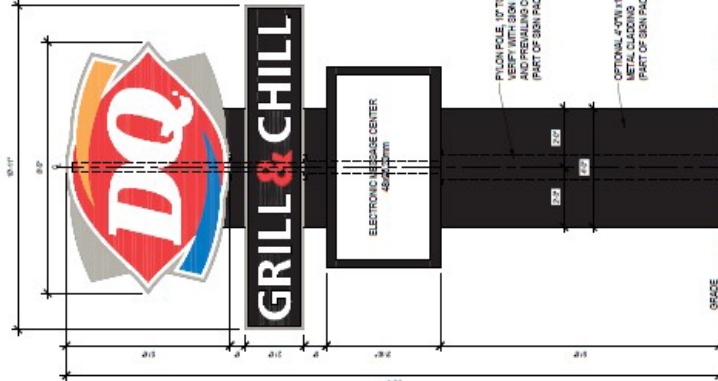


**103** 1 1/4" H. CHANNEL LETTERS  
INTERNALLY ILLUMINATED  
PROFILE AREA = 1.00 SF  
RECTANGULAR AREA = 18.88 SF

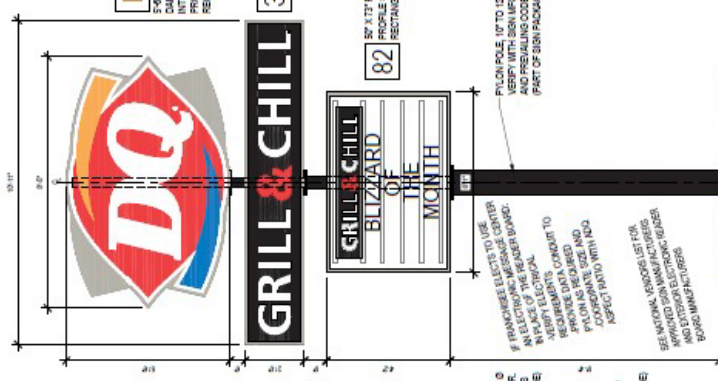


**104** 1 1/4" H. CHANNEL LETTERS  
INTERNALLY ILLUMINATED  
PROFILE AREA = 5.58 SF  
RECTANGULAR AREA = 12.33 SF

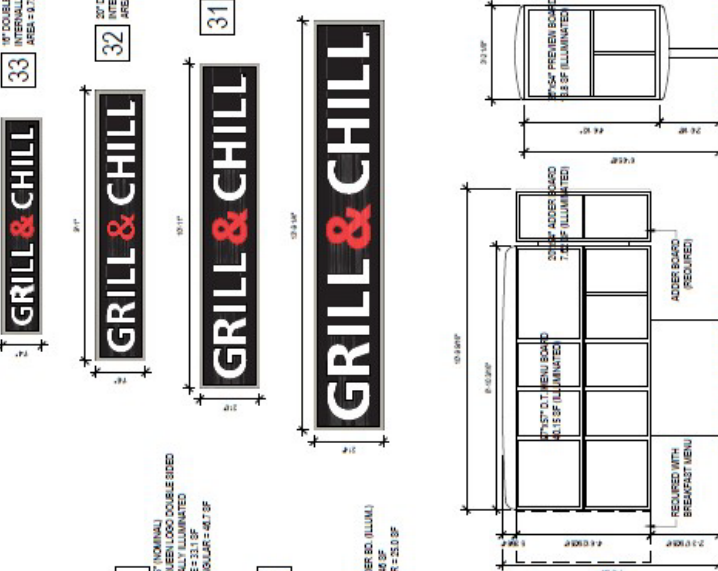
**2 BUILDING SIGNAGE**  
SCALE: 1/2" = 1'-0"



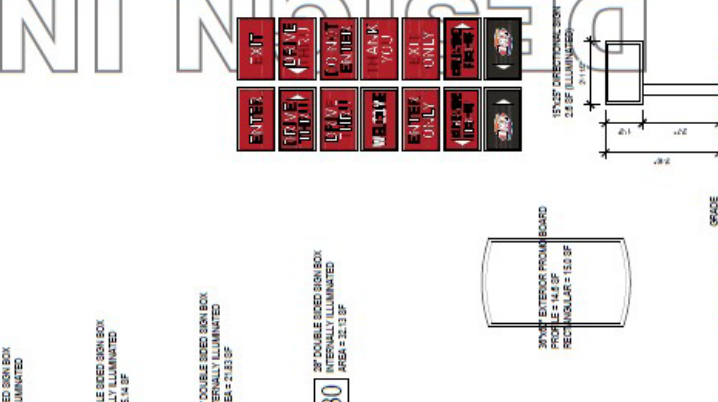
**1** SITE SIGNAGE  
PYLON SIGN WITH DIGITAL READER BOARD  
GRADE



PYLON SIGN WITH READER BOARD  
GRADE



DRIVE THRU MENU BOARD  
REQUIRED WITH BREAKFAST MENU  
ACCESS BOARD (REQUIRED)



PRE-VIEW MENU BOARD (OPTIONAL)  
WALL MOUNTED EXTERIOR PROMO BOARD  
GRADE  
DIRECTIONAL SIGN (OPTIONAL)



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** July 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Dairy Queen – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Dairy Queen Grill & Chill” with a signature date of June 24, 2022.

The plan includes the construction of a new building, parking lot and a storm sewer system that connects to a regional pond.

We have reviewed the submitted documents and have the following comments:

1. Sheet C102 Removals Plan:
  - a. Preserve large pines where possible along the south property line.
  - b. Avoid cutting into the drive lanes on 5th Avenue, see comments on hydrant lead below.
  - c. Cut a minimum 2-foot bit patch width along the curb.
2. Sheet C201 Civil Site Plan:
  - a. Use the heavy duty pavement section on 5<sup>th</sup> Avenue.
  - b. Clarify which “directional sign” will be used at the entrance and exit.
  - c. Construct both entrances with the attached valley gutter detail. Add detail to plans.
  - d. General Comment (not a requirement): allowing 90-degree parking on a one way road can be confusing and cause accidents. The single lane along the west side of the building would also not be need to exist if all angled parking were used.
3. Sheet C401 – Utility Plan:
  - a. Call out a Neenah R-3347-A casting to replace the existing casting on the existing catch basin that will now fall in the driveway. Revise on C602 table as well.
  - b. We do not want additional taps made onto the waterline, nor the full street being cut into and closed, therefor, show removing the existing hydrant and valve, adding 2 45-degree bends and reinstalling the hydrant and valve on the south side of the new exit, centered in the boulevard.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

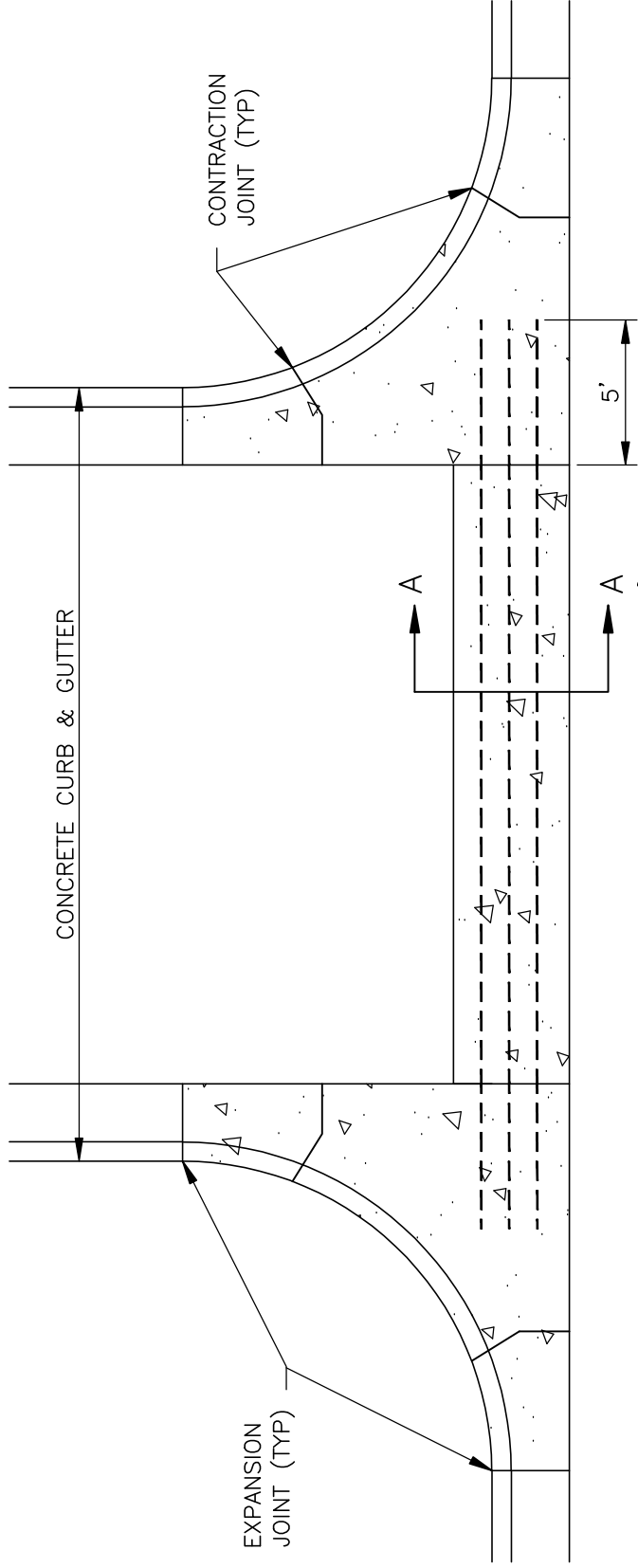
Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

- c. A large portion of the site in the NW area drains to the street, this needs to be collected on site. Move STMH-1 to the connection point of the existing storm stub and add a new Catch basin next to the trash enclosure.
4. Sheet 501 – Erosion Control Plan:
  - a. All turf establishment shall be sod, not seed, per City standard.
5. Sheet C6.02 – SWPPP Narrative:
  - a. Submit NPDES Permit to City prior to beginning work.
  - b. Submit City SWPPP checklist (attached)

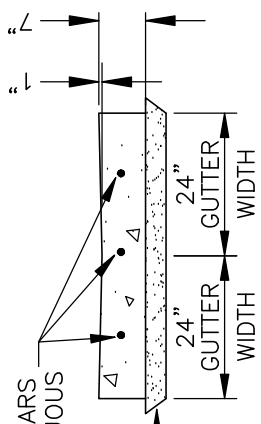
We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.





- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER  
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REVISIONS:			
ORIG. PROJ:		REMARKS:			
PROJ. #:		ENG/TECH:			



# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                          |                          | <b>Yes    No</b>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located  |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |

July 15, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: Dairy Queen

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed Dairy Queen Grill & Chill by American Dairy Queen, constructed by Marcus Construction on PID 116.126.0060.

Isanti Fire supports the continuation as presented in the July 5, 2022 development review meeting providing that all State and City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code.*

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a faint circular stamp or watermark.

Alan Jankovich | Fire Chief  
Isanti Fire District



## MEMORANDUM

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: July 19, 2022

SUBJECT: Ordinance Amending the City Zoning Ordinance Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'.

---

**Request:** Request by resident, Thomas Bowen, for amendment to City Ordinance 445, Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'. Said request is to include metal as an acceptable roofing material.

### **Overview/Background**

At the June 21, 2022 Committee of the Whole meeting the Council directed staff to revise the Zoning Ordinance to allow metal as an acceptable roofing material for residential structures.

To amend the ordinance a public hearing must be called and should be opened for public comment at this time. The Planning Commission should discuss if metal roofs should be considered an acceptable roofing material in residential districts and if there are any conditions to this inclusion.

### **Staff Recommendation**

Staff recommends approval of the amendment to the City Zoning Ordinance Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'.

### **Attachments**

- Ordinance XXX

**ORDINANCE NO. XXX**

**ORDINANCE AMENDING THE CITY ZONING CODE, ORDINANCE 445, SECTION 6  
RESIDENTIAL DISTRICTS, ARTICLE ONE “R-1” SINGLE FAMILY RESIDENTIAL  
DISTRICT; ARTICLE TWO “R-2” SINGLE FAMILY RESIDENTIAL DISTRICT;  
ARTICLE THREE “R-3A” LOW DENSITY MULTIPLE FAMILY DISTRICT; ARTICLE  
FOUR “R-3B” MEDIUM DENSITY MULTIPLE FAMILY DISTRICT; ARTICLE FIVE  
“R-4” MULTIPLE DWELLING DISTRICT; ARTICLE SIX “R-1A” RESIDENTIAL  
RURAL DISTRICT, SPECIAL REGULATIONS**

**THE CITY OF ISANTI DOES ORDAIN:**

**I. AMENDMENTS**

**Ordinance No. 445 Zoning, Article One “R-1” Single Family Residential District**

**Subdivision 7** shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
- 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**II. AMENDMENTS**

**Ordinance No. 445, Zoning, Article Two “R-2” Single Family Residential District Subdivision 7**

shall be hereby amended as follows:

- C. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
  - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**III. AMENDMENTS**

**Ordinance No. 445, Zoning, Article Three “R-3A” Low Density Multiple Family District**

**Subdivision 8** shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
  - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**IV. AMENDMENTS**

**Ordinance No. 445, Zoning, Article Four “R-3B” Medium Density Multiple Family District**

**Subdivision 8** shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
  - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**V. AMENDMENTS**

**Ordinance No. 445, Zoning, Article Five “R-4” Multiple Family Dwelling District Subdivision 8**

shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.

1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**VI. AMENDMENTS**

**Ordinance No. 445, Zoning, Article Six “R-1a” Residential Rural District Subdivision 7** shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
  1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

**VII. EFFECTIVE DATE**

This ordinance shall take effect upon its adoption and publication in the City’s Official Newspaper.

Adopted by the City Council this 3<sup>rd</sup> day of August, 2022.

---

Mayor Jeff Johnson

Attest:

---

Jaden Strand, Human Resources/City Clerk



**CITY OF ISANTI  
SPECIAL PLANNING COMMISSION MEETING  
WEDNESDAY, August 3, 2022  
6:30 P.M  
CITY HALL**

- 1. Meeting Opening**
  - A. Call to Order
  - B. Pledge of Allegiance
  - C. Roll Call
  - D. Agenda Modifications
  - E. Adopt the Agenda
  
- 2. Meeting Minutes:** None
  
- 3. Public Hearing**
  - A. Request by BP Metals for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for site modifications to allow Outdoor Storage Containers at 825 E Dual Blvd NE
  
- 4. Other Business**
  
- 5. Discussion Items**
  
- 6. Adjournment**



## MEMORANDUM

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: August 3, 2022

SUBJECT: Site Plan Modification and CUP Approval pertaining to Outside Storage for BP Metals

---

**Request:** The applicant, BP Metals is requesting site plan modification and CUP approval for outside storage located at 825 East Dual Blvd NE in Isanti.

**Overview/Background:** The applicant is currently constructing a 9,600 square foot building in the industrial park on one of the shovel ready sites sold by the City in 2021. The site plan was approved on July 6, 2021 and is currently under construction.

BP Metals is requesting modifications to the site plan to include removal of the temporary gravel drive surrounding the building, while adding three additional impervious pads to the site, one constructed of concrete and two made of Class -5. The 10 x 100 ft. concrete pad will be used to store equipment, the 50 x 40 ft. pad will be used for scrap dumpsters, and the 80 x 60 ft. pad will be used for storage containers. Outside storage in the I-1 Industrial Park District requires Fencing and screening of aforementioned pads will be required as in accordance with Section 15 of the City of Isanti Zoning Ordinance.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

### Outdoor Storage

- A. Outside storage areas shall be surfaced with bituminous, concrete, or other surfaces, including but not limited to crushed rock, Class 5, or recycled materials; as recommended by the Planning Commission and approved by the City Council.  
*The storage containers, exterior equipment and scrap dumpsters will be required to be located on an approved surface as outlined in Section 17, Subdivision 5 of the City's Zoning Ordinance.*
- B. Outside storage area shall not be placed within required parking or loading areas, which are deemed necessary to meet code requirements.  
*The location of the storage will not impact existing parking or loading areas.*

- C. Outside storage areas shall be located within the rear yard; however, outdoor storage may be located within the side yard, providing the side yard is not adjacent to or across the street from any residentially zoned property.  
*The location of the storage will be on the west end of the site (in the rear yard) and will not be located near any residential zoned areas.*
- D. All outside storage areas shall be effectively screened year-round, by a wall, fence, or densely planted vegetation in accordance with Section 15 of this Ordinance.  
*The site plan does not show any screening or fencing as is required by the City's Zoning Ordinance. Plans for fencing and screening all outdoor storage areas shall be submitted as a condition for approval.*
- E. Cars, vans, and pickup trucks parked outside and used by employees and/or visitors in the normal course of business operation will not be construed as outdoor storage. Further, outside parked trucks and semitrailers used in conjunction with normal business activities will not be construed to be outdoor storage provided (a) the total number of trucks and semi-trailers does not exceed the number of docks and/or bay doors; (b) such vehicles are currently licensed by the State of Minnesota and are in the process of delivering or picking up goods or materials, and (c) such use is not construed as an operation listed as a conditional use in the industrial zone. All other vehicles and/or equipment associated with the business shall meet the fencing and screening requirements as stipulated within this ordinance.  
*Storage of exterior equipment, as shown in the updated site plan, do not show screening or fencing. Plans for fencing and screening all outdoor storage areas, including the exterior equipment area, shall be submitted as a condition for approval.*

### **Screening, and Landscaping**

- A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.
1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.  
*NA*
  2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.  
*NA*
  3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.  
*The site does not abut a residential area.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*The refuse and garbage receptacle is shown on site plans near the four parking stalls to the south and west of the building. Fencing and screening are proposed for this trash receptacle, but the additional scrap dumpsters do not show fencing or screening as is required by the City's Zoning Ordinance. Plans for screening the additional scrap dumpsters shall be submitted as a condition for approval.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*NA*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the "R-1", "R-2", and "R-3A" Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*Additional scrap dumpsters are proposed for the site on the 50 x 40 ft. pad. These dumpsters will need to be completely screened in accordance with the regulations in Section 14, Subdivision 3 of the City's Zoning Ordinance.*

## **Impervious Surface Coverage**

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

*Impervious surfaces on site will include the building, paved asphalt parking lot, driveway and additionally through the requested changes the inclusion of 3 pads. The landscaping requirement of 25% of the total lot area as green space will be met for this phase of development.*

## **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas are proposed to be surfaced with standard duty asphalt. The previously proposed temporary gravel driveway around the rear of the building has been removed from the site plans. Three (3) additional impervious pads are proposed to the site, one constructed of concrete and two made of Class -5. The 10 x 100 ft. concrete pad will be used to store equipment, the 50 x 40 ft. pad will be used for scrap dumpsters, and the 80 x 60 ft. pad will be used for storage containers. The proposed gravel surfaces will be subject to the City Engineer's review as outlined in the City's Zoning Ordinance.*

**Staff Recommendation:** Staff recommends approval of the proposed Conditional Use Permit for Outdoor Storage located at 825 East Dual Blvd NE with the following conditions:

Conditions:

1. Outdoor storage materials must follow City Ordinances Section 13, Article 2, Subdivision 5 of the City of Isanti Zoning Ordinance.
2. All surfacing must meet the requirements outlined in the City's Zoning Ordinance Section 17, Subdivision 5.
3. Any additional structure provided on site for the storage of materials must meet current State Building Code regulations and plans must be reviewed for approval by the City's Building Official and Fire Chief.
4. Site must comply with the Minnesota State Fire Code Chapter 1: Uniform fire safety standards, Chapter 50: Hazardous materials, Chapter 57: Flammable and Combustible Liquids, and Chapter 104.7.2: Technical Assistance;
5. New Grading and Stormwater runoff due to the added impervious surface shall be reviewed by the City Engineer.

## **Attachments:**

- Approved Site Plans
- Updated Site Plans





**RESOLUTION 2022-xxx**

**APPROVING A CONDITIONAL USE PERMIT FOR SITE MODIFICATIONS TO ALLOW OUTDOOR STORAGE CONTAINERS FOR BP METALS**

**WHEREAS**, the City Council approved the site plans for BP Metals at 825 East Dual Blvd NE in the City of Isanti on July 6, 2021; and,

**WHEREAS**, the property is zoned I-1 Industrial Park District; and,

**WHEREAS**, the applicant has requested consideration of a Conditional Use Permit to modify the site plan to include outdoor storage containers; and

**WHEREAS**, outdoor storage is a conditional use for properties located in the I-1 Industrial Park District; and,

**WHEREAS**, a public hearing was held by the City of Isanti Planning Commission on August 3, 2022 to consider the Conditional Use Permit and pursuant to said hearing recommends the approval of the proposed Conditional Use Permit to allow outdoor storage containers to be allowed; and,

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Isanti, that the Conditional Use Permit be held to the following conditions:

1. Outdoor storage materials must follow City Ordinances Section 13, Article 2, Subdivision 5 of the City of Isanti Zoning Ordinance.
2. All surfacing must meet the requirements outlined in the City's Zoning Ordinance Section 17, Subdivision 5.
3. Any additional structure provided on site for the storage of materials must meet current State Building Code regulations and plans must be reviewed for approval by the City's Building Official and Fire Chief.
4. Site must comply with the Minnesota State Fire Code Chapter 1: Uniform fire safety standards, Chapter 50: Hazardous materials, Chapter 57: Flammable and Combustible Liquids, and Chapter 104.7.2: Technical Assistance.
5. New Grading and Stormwater runoff due to the added impervious surface shall be reviewed by the City Engineer;

This Resolution was duly adopted by Isanti City Council this 3rd day of August 2022.

Attest:

\_\_\_\_\_  
Mayor Jeff Johnson

\_\_\_\_\_  
Jaden Strand, City Clerk



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, July 19, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the July 19, 2022 Planning Commission Meeting
- B. Approval of Minutes from the August 3, 2022 Special Planning Commission Meeting

**3. Public Hearing**

- A. Request by the Isanti County Sheriff's Office for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2. Said request is to install a VHF Paging Repeater on the City Water Tower at 601 E Dual Blvd NE for Telecommunication Services.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, July 19, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:59 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins  
Members Absent: None  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand, Finance Director Mike Betker
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 7-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the June 21, 2022 Planning Commission Meeting, motion by Collison, second by Simon, motion passes 7-0.

#### 4. Public Hearing

- A. Request by Marcus Construction for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Dairy Queen restaurant with a drive-thru and an outdoor patio area located in the B-2 General Business District and Highway 65 Overlay District at 280 5<sup>th</sup> Ave NE.

Saltis presented the request for Site Plan and Conditional Use Permit Approval for a building with a drive-thru and outdoor patio for Dairy Queen. Discussion was had between Planning Commission Members regarding building materials and appearance, signage, maneuverability of vehicles, and general site design. The owner, James was present at the meeting and available for questions. Planning Commission members asked when the restaurant is planning to open and how many employees will be hired. The owner responded by saying that DQ corporate has set a deadline for opening in November of 2023, but they hope to start in the fall of 2022 and finish in the Spring of 2023. The number of employees is expected to be roughly 50-75 between full and part time workers. The Planning Commission asked if the requested conditions of approval could be met. The applicant said that the conditions requested

by city staff can be met and are reasonable. No one else from the public spoke at the public hearing. Motion for approval of the site plans and CUP for a restaurant, drive-thru facility and outdoor patio was made by Lundeen and seconded by Bergley, motion passed 7-0.

- B. Request by resident, Thomas Bowen, for amendment to City Ordinance 445, Section 6, Articles 1,2,3,4,5 and 6 under "Special Regulations". Said request is to include metal as an acceptable roofing material in all Residential Zoning Districts.

Community Development Director Hillesheim presented the request for an Ordinance Amendment to allow metal roofs as a permitted material in all Residential Districts. It was mentioned that this discussion was first brought up by public comment during a City Council Meeting and that it was requested that staff look into changing the Ordinance. There was no one from the public present to speak on this item. Motion was made to approve the Ordinance Amendment by Lundeen seconded by Bergley, motion passed 7-0.

5. **Other Business:** Community Development Director Hillesheim reminded the Planning Commission of a special meeting being held on August 3<sup>rd</sup>.
6. **Discussion Items:** None
7. **Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Lundeen to adjourn, motion passed 7-0, meeting adjourned at 8:20 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

## CITY OF ISANTI

### SPECIAL PLANNING COMMISSION MEETING

Wednesday, August 4, 2022

6:30 P.M

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 6:30 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins  
Members Absent: None  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Collison, second by Lundeen motion passes 5-0.

#### 2. Meeting Minutes     None

#### 3. Public Hearing

- A. Request by BP Metals for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for site modifications to allow Outdoor Storage Containers at 825 E Dual Blvd NE.

Hillesheim presented the request for Conditional Use Permit Approval for outdoor storage for BP Metals. The owner, Blake Pendzimas and Contractor Brent Johnstone were present at the meeting and available for questions. Blake pointed out that the storage units would be placed on a gravel pad and not a concrete pad. The Planning Commission members asked how many containers they are intended on having. Blake said that he plans on having four storage containers that are roughly 40 ft in length placed on the 80 x 60 gravel pad on the southwest corner of the site. Discussion was had whether storage containers in an Industrial area would need screening from another Industrial property. Jimmy Gordon stated that he doesn't believe the city should require screening of storage containers when they are only nearby other Industrial lots. Jimmy said that if storage containers are needed for the business that they should be allowed to have them. Planning Commission Member Collison questioned whether it is a good idea to allow storage units as a way of storing materials and that this could take a turn for the worse. Discussion was had regarding the tax base, in that storage containers are not permanent buildings and cannot be

taxed. Several members of the Planning Commission agreed that storage containers should be allowed in the Industrial Park District. It was determined that the language in the zoning ordinances should be amended to reflect the allowance of storage containers and other regulations to make it more clear at a later meeting. Screening for the storage units and additional proposed trash dumpsters was discussed and determined that the location of this business is nearby railroad tracks and other Industrial zoned properties. It was determined that screening would not be needed for this specific request due to the location of the pad, nearby properties being zoned Industrial, and existing vegetation that would screen the storage from other lots. No one else from the public spoke at the public hearing. Motion for approval of the CUP for outdoor storage without any screening was made by Bergley and seconded by Gordon, motion passed 6-1.

4. **Other Business:** None
5. **Discussion Items:** None
6. **Adjournment:** Motion by Lundeen, 2<sup>nd</sup> by Bergley to adjourn, motion passed 7-0, meeting adjourned at 7:02 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: August 16, 2022

SUBJECT: CUP approval for Installing Telecommunications Services on the City Water Tower

---

**Request:** The applicant, Isanti County Sheriff's Office is requesting CUP approval to install a VHF Paging Repeater and antenna on the City Water Tower located at PID 16.090.0150.

**Overview/Background:** The Isanti County Sheriff's Office needs to install a new VHF (Very High Frequency) radio repeater and associated antenna on the Water Tower in Isanti. This VHF repeater is needed to provide improved radio paging and emergency alerting capabilities for the fire and EMS agencies in the Isanti area. A water tower of this height provides a good location for the antenna and repeater, and eliminates the need for the construction of a new radio tower.

**Analysis of Application:** Telecommunication and Antenna Towers are regulated in Section 13, Subd. 18 of the City's Zoning Ordinances. These regulations are mostly for new telecommunications towers that would be constructed in the city. The regulations most relevant for adding antennas to an existing tower are the following:

- c. Describes the tower's capacity, including the number and type of antennas that it accommodates;
- d. Documents what steps the applicant will take to avoid interference with established public safety telecommunications;

The attached Isanti County VHF Radio Paging Antenna Planning Review document explains that the proposed repeater is not expected to impact current radio frequencies and the current wireless carriers on the water tower have stated "no objection" to the proposed VHF installation. This report also states that the antenna and transmitter operate in a different frequency spectrum than any of the wireless services on the water tower (T-Mobile Cellular, Genesis Wireless and WinWater Wireless). The proposed VHF transmitter will also not be operating continuously, as is the case with other wireless services. The transmitter will only be activated when emergency paging is needed. There are currently two unused mounting pipes on the water tower in which

either of these would support the proposed antenna for Isanti County. The Company who put the review together, RFCC Communications Consulting, has recommended that the City of Isanti approve the proposed VHF system installation which will allow important public safety radio service to be implemented in the area.

### **Conditional Use Permit Standards:**

1. In review of the standards established in Section 21, Article 2, Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in italics*):
  - A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.  
*The nature of the request is consistent with the goals and objectives of Isanti's Comprehensive Plan in that the proposed Telecommunications Services will improve public safety.*
  - B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.  
*Telecommunications Systems are Conditional Uses in the I-1 zoning district, applying for the CUP meets the purpose and intent.*
  - C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.  
*The VHF Radio Paging Antenna will benefit the public and will not be detrimental or endanger the public.*
  - D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.  
*The conditional uses will not diminish or impair surrounding property values.*
  - E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.  
*The conditional uses will not impede on the normal and orderly development and improvement of surrounding property.*
  - F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.  
*The water tower currently has two unused mounts for telecommunications services and has the capacity to provide and accommodate the proposed use.*

G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

*The conditional uses meet this requirement and follow the regulations set in the I-1 Industrial Park Zoning District.*

H. The conditional use complies with the general and specific performance standards as specified by within this Article.

*The conditional use meets the requirements in which Telecommunication and Antenna Towers are set in Section 13, Subd. 18 of the City's Zoning Ordinances.*

**Staff Recommendation:** Staff recommends approval of the Conditional Use Permit for the proposed VHF Paging Repeater on the City Water Tower located at PID 16.090.0150 with the following conditions:

Conditions:

- A Building Permit will be required for the installation of the Radio Repeater and Antenna
- Any other Conditions made by the City of Isanti Planning Commission and City Council

**Attachments:**

- Isanti County - VHF Radio Paging Antenna Planning Review



## Isanti County MN – VHF Radio Paging Antenna Planning Review

June 14, 2022

**Attn: Josi Wood, City of Isanti MN**

City Administrator  
110 1<sup>st</sup> Ave NW,  
Isanti, MN 55040

**Subject: Isanti County Sheriff Request to Install VHF Paging Repeater on City Water Tower  
Wireless Collocation Interference Review**

The Isanti County Sheriff's Office needs to install a new VHF radio repeater and associated antenna on the City of Isanti water tower, located in the city. This VHF repeater is needed to provide improved radio paging and emergency alerting capabilities for the fire and EMS agencies in the City of Isanti area. A water tower of this height provides a good location for the antenna and repeater, and eliminates the need for the construction of a new radio tower.

This water tower is currently equipped with several different wireless service providers, including:

- T-Mobile (previously Sprint) Cellular
- Genesis Wireless (multiple wireless services for the City)
- WinWater Wireless (new/proposed 900 MHz meter reading system)

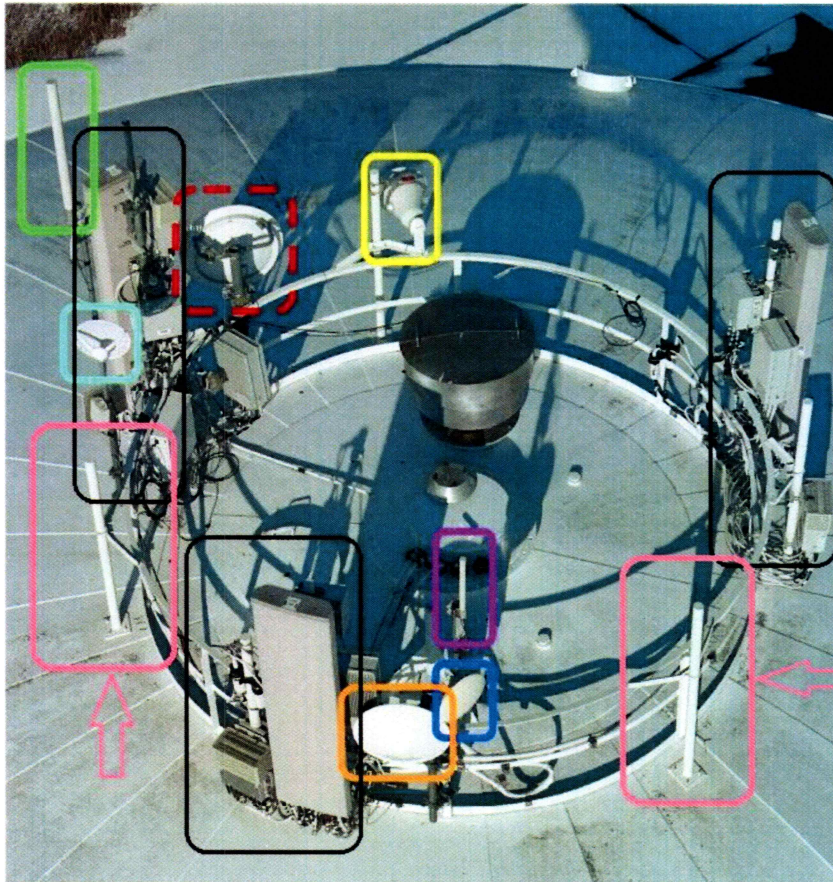
The Sheriff's Office has requested permission from the City of Isanti for the installation of the new VHF antenna on the water tower. It is our understanding that the City is willing to allow this installation, subject to verification that the proposed VHF antenna and repeater/transmitter will not cause any RFI (Radio Frequency Interference) to these existing and future wireless tenants.

RFCC has been enlisted by Isanti County to conduct a review of this proposed installation to determine if any RFI issues could be expected. This report provides the processes used, the technical data and findings of this work.

***This process will demonstrate that NO Radio Frequency Interference is expected from the proposed VHF antenna installation, and all of the wireless carriers listed have stated "no objection" to the proposed VHF installation.***

## 1. Technical Review

To begin the process, the Sheriff's Office used a drone to obtain a photo of the top of the water tower to determine the existing wireless equipment on it, along with the available antenna mounting options on the tank. This photo was then edited by the wireless tenants and RFCC to show the specific locations of the current wireless antennas:



Radio	Frequency	Channel Width
2.4 Omni (Green)	2,427 MHz	10 MHz
5.8 Omni (Purple)	5,805 MHz	20 MHz
PtP St. Francis (Orange)	5,835 MHz	20 MHz
PtP Coopers Corner (Blue)	5,200 MHz	20 MHz
PtP Cambridge (Yellow)	5,745 MHz	40 MHz
PtP Isanti PD (Aqua)	58,320 MHz	2,160 MHz
Old PtP Cambridge (Red)	Powered Off	

T-Mobile/Sprint (black)		
-------------------------	--	--

Proposed Isanti County Sheriff VHF Antenna Mounting Pipe (one of these two)

Each of the wireless tenants contacted by RFCC were provided with the specific technical data for the proposed Isanti County VHF antenna and transmitter as follows:

- 155.430 MHz, 12.5 KHz channel
- Spectra DB224 VHF Antenna, 6dB gain
- ~200 watts ERP
- 20-foot antenna height

***A key technical element in this plan is that the proposed VHF antenna and transmitter operates in a completely different frequency spectrum than any of the wireless services on the water tower.***

It was also noted that this VHF transmitter will not be operating "continuous duty" (as is the case with other wireless services) and will only be activated when emergency paging is needed, which is typically several times per day.

## 2. Wireless Tenant/Vendor Comments and Approvals

RFCC communicated with the various tenants via phone and email to discuss the proposed installation and project. All tenants stated “no concern” with the installation, and provided an email to confirm their approvals. The tenant contact information and a copy of each of these emails is provided as follows:

### A. T-Mobile (formerly Sprint) Cellular:

- Primary point of Contact: Don Hartley; [Don.Hartley@t-mobile.com](mailto:Don.Hartley@t-mobile.com); 1-815-404-8871
- Secondary point of Contact: Mazher Abdul Qayyum; Sr. Manager Engineering RF Deployment, Minneapolis Market; [Mazher.Qayyum@T-Mobile.com](mailto:Mazher.Qayyum@T-Mobile.com) 1-508-296-0541

Date: Wed 6/1/2022, 10:11 AM

Subject: RE: MS03NP737/A1N0705A - 601 East Dual Boulevard, Isanti, MINNESOTA 55040 - Interference Review

To: Rey Freeman; Salahuddin, Sajjad; Hartley, Don; 'Josi Wood'; Singh, Gurpreet; Kidwell  
Hello Rey and Team

After reviewing this info, T-Mobile RF has no concerns with this installation and approves this. Please notify us once the Antenna installation is completed, so that we can review our noise floor for any significant changes. I appreciate that you are proactively notifying us and taking our input.

Thank you.

Mazher Abdul Qayyum  
Sr. Manager, Engineering RF Deployment  
Minneapolis Market  
Phone: 508-296-0541

 T-Mobile

**B. Genesis Wireless:**

- Primary point of Contact: Ryan Hagfors, Chief Technology Officer;  
[ryan@genesiswireless.com](mailto:ryan@genesiswireless.com); (320) 396-2990

Date: Tue 4/12/2022 9:15 AM  
Subject: RFI Study for City of Isanti Water Tower  
To: 'Rey Freeman', Cc: 'Dave Pieczynski'

Hi Rey,

The attached PDF outlines each of our radios on the Isanti water tower (photo with detail on previous page). The one with the red outline has recently been decommissioned and powered off. It used to be a link to a water tower in Cambridge that was recently taken down. We have a work order put in to remove it next time we're on that tower though.

I've never heard of VHF sources causing interference with 2.4GHz, 5GHz or 60GHz. I believe we're co-located on at least a couple towers that have VHF. There are also a couple high-power FM towers we're on that we don't experience any interference issues with. I'm on a Facebook group called "WISP Talk" (Wireless Internet Service Provider) and searched for VHF-related posts to see if others in the industry experienced interference. It doesn't appear to be an issue based on the comments I read.

Thank you,



Ryan Hagfors, Chief Technology Officer  
Genesis Wireless  
205 SW 2<sup>nd</sup> St., Braham, MN 55006  
(320) 396-2990, Braham local

**C. WinWater Wireless:**

- Primary point of Contact: Todd Phillips; (612) 723-5497

WinWater is planning to install a 900 MHz unlicensed remote meter reading system for the City of Isanti. This system will use Spread-spectrum frequency hopping technology in the 902-928 MHz frequency range, with an 8-foot omnidirectional antenna.

This proposed system was discussed with Mr. Phillips via phone on 5-11-2022; he stated "no concerns" with potential interference between the planned 900 MHz system and the proposed VHF antenna for Isanti County. This is expected again due to the significant frequency spectrum difference between the two wireless systems. No email was received from Mr. Phillips.

**D. Total Control Wireless**

□ Primary point of Contact: Al Doberstein; (320) 396-4442

Total Control maintains a 450 MHz SCADA wireless system for the City of Isanti. RFCC was directed to contact Mr. Doberstein regarding this system. In a phone call on 5-11-2022 Mr. Doberstein advised that the antennas for this wireless system are not located on the water tank; they are on the water systems building adjacent to the water tower. As such, no interference is possible between the two systems.

**3. Other Technical Planning Considerations**

There are currently two unused mounting pipes on the water tower; either of these would support the proposed VHF antenna for Isanti County.

There appears to be open cable conduit stubs on the top of the tank for the routing of the single VHF transmission line from the antenna down through the tank to the transmitter location.

RFCC has not been involved in any planning or review of the specific location of the VHF repeater/transmitter at the base of the water tower. This will be coordinated by Granite Electronics, the radio system vendor who maintains the Isanti County radio system equipment. They will coordinate with the City when conducting this work.

**4. Summary and Recommendation**

Based on the technical information and feedback from the wireless vendors outlined in this report, as well as an understanding of the completely different radio frequency spectrums being used by the existing and proposed wireless services, we believe that no Radio Frequency Interference will be experienced by the installation of the VHF repeater and antenna for the Isanti County Sheriff's Office.

We recommend that the City of Isanti approve the proposed VHF system installation for Isanti County, which will allow this important public safety radio service to be implemented in the area.

Regards



RFCC, LLC  
952-541-0747 Office/Cell



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, September 20, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the August 16, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Amy Rockstad for Site Plan approval under City Ordinance 445, Section 18, said request is for a commercial building with tenant spaces for Rockstad and Co. located at 108 Main St E.
- B. Request by Structural Buildings for Site Plan approval under City Ordinance 445, Section 18, said request is for a manufacturing building for Special Tools Inc. located in the Industrial Park District at PID 16.159.0010.
- C. Request by the City of Isanti for Zoning Ordinance Text Amendment approval under City Ordinance 445, Section 21, Article 1, said request is to amend Section 15 "Fencing, Screening and Landscaping". A complete copy of the proposed amendments is available upon request at City Hall, 110-1<sup>st</sup> Ave NW, Isanti, MN 55040

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, August 16, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:23 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Jimmy Gordan, Paul Bergley, Dan Collison  
Members Absent: Steve Lundeen, Arissya Simon, Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Collison, second by Bergley motion passes 4-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the June 21, 2022 Planning Commission Meeting, motion by Bergley, second by Gordon, motion passes 4-0.

#### 4. Public Hearing

- A. Request by the Isanti County Sheriff's Office for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2. Said request is to install a VHF Paging Repeater on the City Water Tower at 601 E Dual Blvd NE for Telecommunications Services.

Saltis presented the request for the Conditional Use Permit for installing a paging repeater for the Isanti County Sheriff's Department on the City Water Tower. It was explained that the proposed repeater would be placed on existing unused mounts on the water tower. The new telecommunications services will not cause any radio interference with existing wireless services on the tower, as they are on a different frequency. Mayor Johnson questioned why we require a building permit for this project. City staff responded that a building permit is needed to ensure that the system is mounted correctly. No one from the public spoke at the public hearing. Motion for approval of the CUP for installing a VHF Paging Repeater on the City Water Tower was made by Bergley and seconded by Collison, motion passed 4-0.

5. **Other Business:** City Administrator Josi Wood alerted the Planning Commission that the T-Mobile Telecommunications Services on the Water Tower would be removed in the near future and that this will be on an agenda for City Council. T-Mobile no longer needs the services in this location and will be dropping out of the lease with the city.
6. **Discussion Items:** None
7. **Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Collison to adjourn, motion passed 4-0, meeting adjourned at 7:29 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

DRAFT



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: September 20, 2022

SUBJECT: Site Plan approval for a Commercial building with tenant spaces for Rockstad Relics and Wares located at 108 Main St E

---

**Request:** The applicant, Amy Rockstad is requesting site plan approval for a proposed commercial building with tenant spaces located at 108 Main St E.

**Overview/Background:** The applicant would like to construct a commercial building on a 7,000 sq ft vacant lot located at 108 Main St E. This parcel is currently zoned B-1 Central Business District and is within the Downtown Overlay Zoning District in which a “General Retail Establishment” is a permitted use.

The building is proposed to be 5,160 square feet and will consist of the Rockstad Relics and Wares boutique retail space, and three tenant spaces on the east side of the building. Each tenant space will have a separate mechanical space and restroom area. The site does not feature any designated off-street parking areas; however, the Downtown Overlay District allows flexibility for shared parking and promotes pedestrian walkability between businesses.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the B-1 Central Business District and Downtown Overlay District:

### **Lot/Building Size Requirements**

*There is not a minimum lot size or building size requirement for the B-1 Central Business District or Downtown Overlay District. The building is proposed to be 5,160 sq ft and will be set on a 7,000 sq ft vacant lot. The building will be roughly 74% of the total lot surface.*

## **Setbacks – Principal Building**

The following minimum requirements shall be observed in the Central Business District; subject to additional requirements, exceptions, and modifications as set forth within this Ordinance:

- A. Setbacks and Height Restrictions – Principal Building.
- |  |  |
|--|--|
| Minimum Setback from a Railroad Right-of-Way | 10 feet  |
| Front, Side, and Rear Yards                  | Zero Lot Line Maximum  |
| Building Height                              | Three (3) stories or<br>forty-five (45) feet,<br>whichever is less |

*The proposed building will be setback 3 ft from the front property line, 7 ft from the rear property line, 10 ft from the east property line and 4 ft from the west property line. These front, side and rear setbacks will meet the requirements of a zero-lot line maximum which would allow for the building to be placed directly on property lines. The building is proposed to be single story construction and will not exceed the forty-five ft height requirement in this Zoning District.*

## **Streets and Sidewalk Network**

- A. Developments that include public or private streets shall connect with and provide for the future extension of the community's existing street network.  
*The development will utilize the existing streets of Main Street, Dahlin Ave NE and Elim Lane NE.*
- B. Sidewalks are required along all public and private streets within the Downtown Overlay District. The location and alignment of new sidewalks shall connect directly with the existing sidewalk network. The width of the sidewalk shall be consistent with City policy.  
*Existing Sidewalks will be utilized along the front and the west sides of the building, which will run parallel to the existing streets. Concrete pads will be placed from the sidewalk to the building's doors for entrances and easy accessibility.*
- C. On-street parking shall be incorporated with the street design within the Downtown Overlay District. Parking areas shall be defined by curbing.  
*On-street parking will be accessible to the building off of Dahlin Ave NE and a parking lot nearby on Main St.*
- D. The number and width of curb cuts shall be in conformance with City policy. Sites within the Downtown Overlay District that have multiple buildings shall have unified / joint access.  
*There are no curb cuts proposed on site for parking areas.*

- E. Street trees shall be placed, no less than one (1) tree per fifty (50) lineal feet of frontage on any street within the Downtown Overlay District. Where street trees cannot be planted, sidewalk planters are encouraged in these areas. Such trees or planters shall be coordinated as part of the streetscape design.  
*A landscaping plan was provided for review of plant locations and species types. There are no trees proposed on the site. Based on the 1 tree per 50 lineal feet of frontage requirement, the site would be required at least 5 trees (250 linear ft of street frontage on Main St, Dahlin Ave, and Elim Ln). The building setbacks on the front and west sides of the building are too small for tree plantings but the building has 10 ft setbacks from the eastern property line. Staff believes that this area should have at least two trees to make up for lost landscaping areas on all other sides of the building. Plantings of deciduous shrubs and perennials are proposed to be planted along the front and west side of the building.*
- F. All new utilities shall be encouraged to be placed underground. Compatible lines (e.g., electric, phone, cable) shall be placed in a common trench.  
*The utilities plan indicates underground connections for the site.*

### **Parking Standards**

**Off-Street Parking** Areas located within the Downtown Overlay District are intended to be a pedestrian-oriented place. The design, location, and availability of parking will be a critical component to ensure the success of redevelopment within this area. Parking must be conveniently located and easily accessible; however, parking areas should not negatively impact the pedestrian character of the area. The purpose of the off-street parking requirements within the Downtown Overlay District is to allow land uses to deviate from the parking requirements provided in Section 17 of this Ordinance. The deviation from these requirements is allowed in recognition of the unique character of the downtown area, which include mixed uses, pedestrian scale development, enhanced streetscape, and potential future availability of mass transit. The regulations of the Downtown Overlay District will allow for a reduction in the number of parking spaces and encourage shared parking.

- A. **General.**
1. Off-street parking areas should not be located in front of buildings between the building and the street.
  2. Off-street parking shall be provided where it is physically possible to do so.
  3. Exception to those properties located along First Avenue NW or SW, 90-degree parking is permitted abutting the street when approved by the City Council.
  4. Access points for rear and side parking lots should be designed to look like streets rather than driveways.
  5. Parking areas should be well identified and easy to find.

6. On-street parking should be provided everywhere it is physically possible to do so.

C. Commercial standards.

1. If the required amounts of parking spaces cannot be fully provided on site, then parking may be provided in public or shared lots elsewhere within the Downtown Overlay District.
2. Shared parking facilities among commercial uses should be encouraged where peak hours, proximity, and other characteristics would make these types of facilities feasible.
3. Parking areas should flow together and should not contain barriers that would prevent cross connections between lots, as this should encourage the sharing of parking areas between uses.
4. Shared parking shall meet the requirements as stipulated within Section 17 of this Ordinance.
5. Employees of commercial establishments should be required to park in designated long-term parking areas.
6. When a non-residential use would require 100 or fewer parking spaces based upon the requirements of Section 17 of this Ordinance, the required number of parking spaces provided shall be 50 percent of the total number required.

*The site does not provide any off-street parking. Parking is available in shared lots found on Main St and street parking is available on Dahlin Ave to the west of the proposed building. Staff believes that there will be plenty of parking options nearby and that a building with tenant spaces is a good use for this small 7,000 sq ft parcel, rather than a majority of it having to be a parking lot.*

**Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:

1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
  - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
  - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*A photometrics plan will need to be submitted with foot candle readings on the site. These foot candle readings will be based on light sources implemented on site and will have to meet all criteria listed in Section 14, Subd. 5 of the City Zoning Ordinance. Lighting will have to be downlit and not be a hazard for vehicular or pedestrian traffic. The trash enclosure must be illuminated for the safety of employees.*

### **Exterior Building Materials**

Acceptable Materials. Exterior building materials shall not be dissimilar to existing structures within the immediate area or the downtown area as a whole. Exterior building finishes shall consist of material comparable in grade and quality to the following:

1. Brick
2. Natural stone
3. Wood provided the surfaces are finished for exterior use and only woods of proven durability shall be used.

4. Glass, to include glass curtain wall panels.
5. Tilt up concrete panels that have a grid or block like appearance.
6. EIFS (Exterior Insulating and Finishing System) may be used but not as a primary material.
7. Metal may be used as an accent but not as a primary material.

*Exterior building materials include metal siding and roofing, boulder creek stone, and aluminum windows and doors. Siding color is proposed to be colonial red and the roofing will be black. Boulder Creek stone is proposed to be the primary material on the south and west sides of the building and is expected to go up to the roof line on these sides. The exterior of the building has varied detailing with materials and colors and will be visually appealing in the downtown district.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*There is not a trash enclosure indicated on site plans. An exterior trash enclosure will need to be included on site plans to verify the location will work on site. It is not identified on plans how the*

*trash receptacles will be enclosed and designed. The trash enclosure shall be designed so that it is architecturally harmonious with the principal structure on the site. The trash enclosure will also have to be illuminated for the safety of employees.*

### **Signs**

*The exterior elevations show spaces for signs on the building. All signage on site will need to have a sign permit and be reviewed by city staff to ensure that the location, design and dimensions meet the requirements listed in Section 16 of the City Zoning Ordinances.*

**Staff Recommendation:** Staff recommends approval of the proposed commercial building located at 108 Main St E with the following conditions:

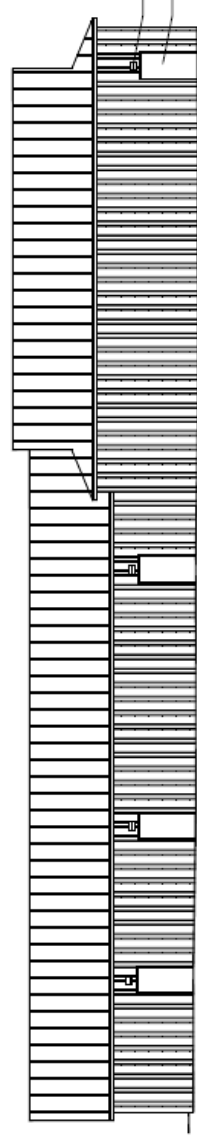
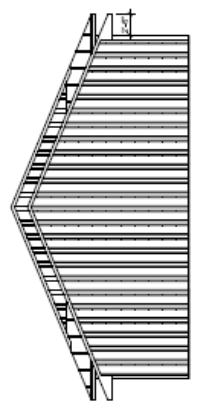
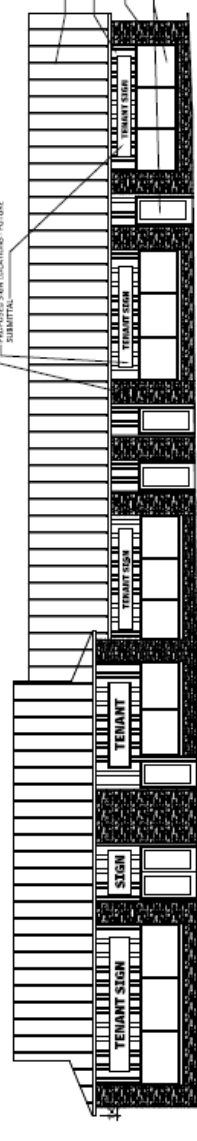
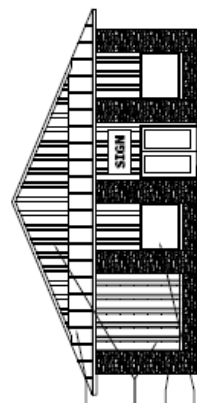
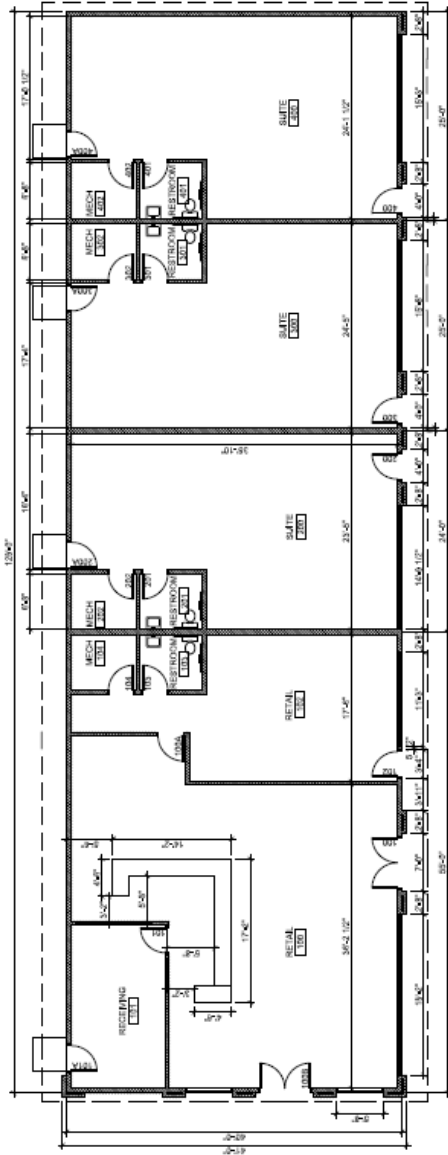
Conditions:

- Lighting Designs shall be downlit and follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances
- Trash enclosure must be illuminated for the safety of employees
- Trash enclosure location must be included on site plans and design shall follow Section 14, subd.3 in the City's Zoning Ordinances for Trash Enclosure Standards
- All signs shall need a sign permit when applicable to determine dimensions, design and locations
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 9/7/2022.

### **Attachments:**

- Site Plans
- Floor Plans / Exterior Elevations
- Landscaping Plans
- Engineer's Memo Dated 9/7/2022



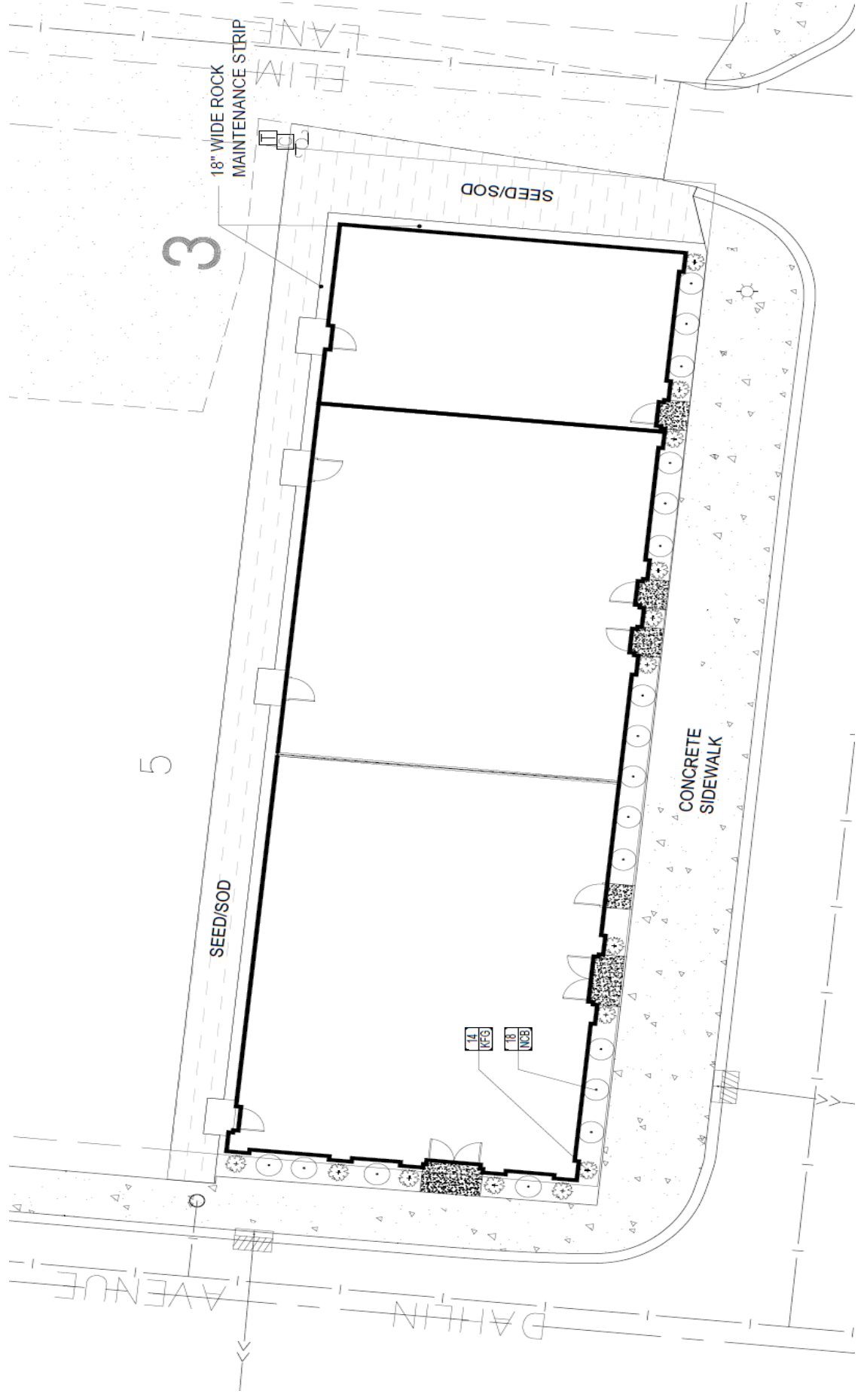


ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK  
ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK

ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK  
ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK

ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK  
ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK

ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK  
ROOFING: FABRIC GRANULES PAINTED IF BLACK  
Siding: FABRIC GRANULES PAINTED IF BLACK  
FLOORING: POLISHED BIRCH (LOCATIONS - FUTURE SUBMITTAL)  
WALLS: FABRIC GRANULES PAINTED IF BLACK  
CEILING: FABRIC GRANULES PAINTED IF BLACK



SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
-----	-----	-------------	-----------------	------	------	----------

DECIDUOUS SHRUBS						
NCB	4	NORTHERN CHARM BOXWOOD	<i>Buxus x 'Wilson'</i>	24" HGT	POT	PER PLAN

PERENNIALS						
KFG	12	KARL FOERSTER GRASS	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 GAL	POT	PLANT 2 O.C.

PLANTING SCHEDULE:



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** September 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Rockstad – Civil Plan Set - Engineering Review  
City of Isanti, MN  
Project No.: 0R1.123130

We have reviewed the plan set entitled “Rockstad Civil” dated August 17, 2022 and received on August 29, 2022. The project includes the construction of a new building with multiple tenant spaces. We have reviewed the submitted documents and have the following comments:

### Utility Plan C-8:

1. Separate sewer and water service lines will be required with for each separate tenant space. The two sanitary sewer stubs that are shown on the east side of the lot may be used. The 3 separate water services may be able to tap onto the existing water stub that extends to the parcel, but each water service will need to have a curb stop at the ROW.
2. Proposed 2” sanitary line shown to west does not connect to the existing main located on the west side of Dahlin Avenue. If this sewer needs to connect to the main in Dahlin Avenue, the road will need to be closed and we will require a detour route plan be submitted for review prior to approval of this project. Also show patch area, curb and walk removal limits.
  - a. If this 2” line is not a forcemain, it will be required to be a minimum 4” gravity pipe SDR 26 at a minimum slope of 1.5%.
3. An overhead line appears to cross the SE corner of the proposed building. Coordinate with this utility to relocate as needed.

### Landscape Plan L-1-1:

4. All areas not planned to be landscaped shall receive 6” of topsoil and be sodded. An irrigation plan will also be needed.

We recommend approval of the plans once the above comments are addressed.



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: September 20, 2022

SUBJECT: Site Plan Review for a manufacturing building for Special Tools Inc. located on a vacant lot in the Industrial Park District at PID 16.159.0010

---

**Request:** The applicant, Structural Buildings is requesting site plan approval for a proposed manufacturing building located at PID 16.159.0010 for Special Tools Inc.

**Overview/Background:** The applicant would like to construct a manufacturing building on a 2.5-acre vacant lot located in the Industrial Park District at PID 16.159.0010. This parcel is currently zoned I-1 Industrial Park District in which “light manufacturing” is a permitted use.

The building is intended to provide custom tool manufacturing services in a warehouse setting. The building is proposed to be 2 stories in height and roughly 12,000 square feet. The first floor will have the manufacturing floor space, offices, bathrooms, mechanical room, a break room and a conference room. Fourteen parking stalls are displayed on the site plans, with one of these stalls designated as handicap accessible.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

### **Lot Requirements**

- Lot Size Minimum .5 acre
- Minimum Width of Lot at ROW 100 ft
- Minimum landscaping 25% of total lot area

*The area of the parcel is roughly 2.5 acres in size and exceeds the lot size minimum. The site will meet the minimum width of lot at the Right of Way and minimum landscaping requirements.*

### **Setbacks – Principal Building**

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Rear Yard Setback 30 feet

*The proposed building will be located near the center of the parcel roughly 100 ft from the west property lines near East Dual Blvd NE and will meet all required setbacks for the I-1 zoning district.*

### **Impervious Surface Coverage**

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

*Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. Roughly 43% of the development is intended to be impervious surface. The landscaping requirement of 25% of the total lot area as green space will be met.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas are proposed to be surfaced with bituminous pavement. Concrete aprons and sidewalks are proposed around the front of the building near the parking stalls leading to the entrance and along the rear of the building.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.*

### **Striping**

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) wide.

*Four-inch-wide white striping will be used across the site for designated parking stalls. One stall will be striped to indicate no parking for a handicap access stall.*

## **Parking Lot Setbacks**

- Front Yard Setback                    10 feet
- Rear Yard Setback                    10 feet
- Street Side Yard Setback            10 feet
- Side Yard Setback                    10 feet

*Parking areas on site will meet the required 10-foot setbacks from all property lines.*

## **Parking Standards**

### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

### **Industrial Uses**

<p><b><u>PARKING SPACE CALCULATION</u></b></p> <p><b><u>REQUIRED PARKING SPACES</u></b> OFFICE: 1 SPACE PER 250 SF - 500 SF / 250 = 2 SPACES MANUFACTURING: 1 SPACE PER 500 SF - 4950 SF / 500 = 10 SPACES WAREHOUSE: 1 SPACE PER 1500 SF - 3550 SF / 1500 = 2 SPACES</p> <p>TOTAL REQUIRED PARKING SPACES = <b>14 SPACES</b></p> <p><b><u>PROVIDED PARKING SPACES</u></b></p> <p>TOTAL PROVIDED PARKING SPACES = <b>14 SPACES</b></p>
--

*Based on this number of required parking spaces standard and the use of the industrial building, the site will be required at least 14 parking spaces in which one stall would need to be designated as handicap accessible. The site plans indicate 14 total parking stalls, in which one parking stall is designated as handicap accessible in the front of the building. The site plans meet the required number of parking spaces for the development.*

### **Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

**TABLE 9: Parking Lot and Parking Stall Dimensions**

<b>Angle of Parking</b>	<b>Stall Width</b>	<b>Curb Length Per Car</b>	<b>Stall Length</b>	<b>Aisle Width One Way</b>	<b>Aisle Width Two Way</b>
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will have both one-way and two-way traffic. Stall dimensions are 10 ft in width and 20 ft in length and drive aisle width is 26 ft. The site will meet the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths shall be at least 26 feet and meet the requirement for two-way vehicle circulation.*

**Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

**Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
  - 1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
    - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
    - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
  - 2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.

3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*An exterior lighting plan was not included in the submittal. A lighting/photometrics plan is required that will show lighting types that are proposed on site. All lighting types proposed shall be downlit and designed to reduce glare. These light sources will have to meet all criteria listed in Section 14 of the City Zoning Ordinance.*

### **Curb Cuts**

*There are two curb cuts proposed along East Dual Blvd NE. These two proposed curb cuts are spaced an adequate distance from each other and comply with City Standards.*

### **Building Design and Construction**

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
  1. Face brick
  2. Natural stone
  3. Glass

4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
5. Factory fabricated, finished 26 Ga. Metal panel
6. Decorative concrete block approved by the City Council.
7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewall height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

*Exterior building materials include metal roofing and siding, and stone around the base of the South and West sides of the building. The exterior siding and stone will be a neutral tan color and will be consistent with will surrounding buildings in the Industrial Park District.*

### **Screening, and Landscaping**

- A. Fencing and Screening. Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.
1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.  
  
*Mechanical equipment is not displayed on site plans. If mechanical equipment is on the exterior of the building, site plans shall be altered to show the location of the equipment.*
  2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.  
  
*There are three large garage doors on the building that can be used for loading and service areas. A building of this size (under 100,000 square ft) does not require a designated loading area.*
  3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.  
  
*The site does not abut a residential area.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*An outdoor trash enclosure is required for this Industrial site. Site Plans do not show a location where this trash enclosure will be placed. Site plans must be modified to show the location of the enclosure for staff review. The enclosure shall meet performance standards set in Section 14, Subdivision 3 of the City Zoning Ordinances.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*The site is completely surrounded by Industrial properties and does not surround a residential area.*

## **Landscaping**

Non-Residential Requirements. In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations.

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

### Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.

- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*The landscaping plan proposes to include a total of 10 trees on the property near East Dual Blvd NE. These will be a mix of species including Sugar Maples, Scarlet Oaks, Norway Spruce, and Austrian Pines. The City Landscaping Ordinance requires that the site have at least 7 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 9 trees will meet this standard. Sod shall be planted on all areas not disturbed by new construction or not already covered by established lawn or turf.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  - 2. Trash enclosures shall be lit.

3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*The trash receptacle location is not designated on site plans. The receptacle will have to be enclosed, fenced or screened. The trash receptacle/enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City's Zoning Ordinances. The trash enclosure shall also be illuminated for the safety of employees.*

### **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

**Staff Recommendation:** Staff recommends approval of the proposed Special Tools manufacturing building located at PID 16.159.0010 with the following conditions:

Conditions:

- Trash enclosure shall be illuminated for the safety of employees
- Trash receptacle shall be designated on site plans and fenced or screened by a permanent structure in accordance with Section 14, Subdivision 3 of the City's Zoning Ordinances.
- Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances
- All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 9/7/2022

**Attachments:**

- Site Plans
- Floor Plans
- Landscaping Plans
- Exterior Elevations
- City Engineer's Memo Dated 9/7/2022

EDGE OF CATTAILS OUTLOT B

S 08°56'28" W 357.02

S 80°56'31" E 320.27

32' DRAINAGE & UTILITY EASEMENT PER ISANTI CENTENNIAL COMPLEX 3RD REARRANGEMENT  
30-FT REAR YARD SETBACK

CENTENNIAL

COMPLEX

OUTLOT A  
AREA = 2,507.74 SQ. FT.

PROPOSED BUILDING  
FEE = 941.00

- HANDICAP SIGNAGE**
1. PROVIDE HANDICAP SPACE SIGNAGE AS PER MIN. STATUTE 169.346 (\$200.00 FINE) AND MIN. MUTCD
  2. PROVIDE "NO PARKING" SIGNAGE AT THE HEAD OF HANDICAP ACCESS AISLES; NO MORE THAN 5-FT FROM THE HEAD OF THE AISLES

DRAINAGE EASEMENT PER ISANTI CENTENNIAL COMPLEX 3RD REARRANGEMENT

30-FT FRONT YARD SETBACK

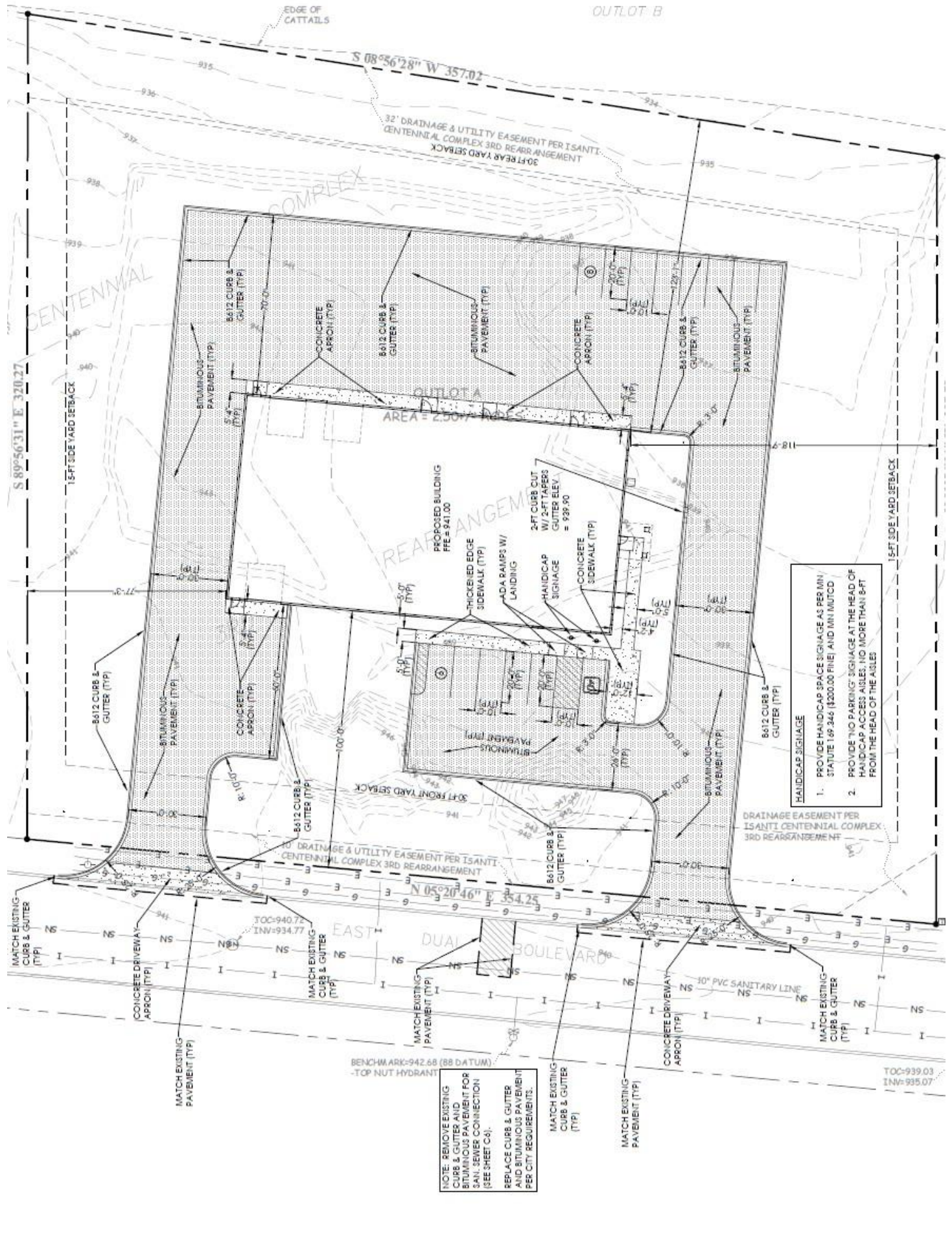
N 05°20'46" E 354.25

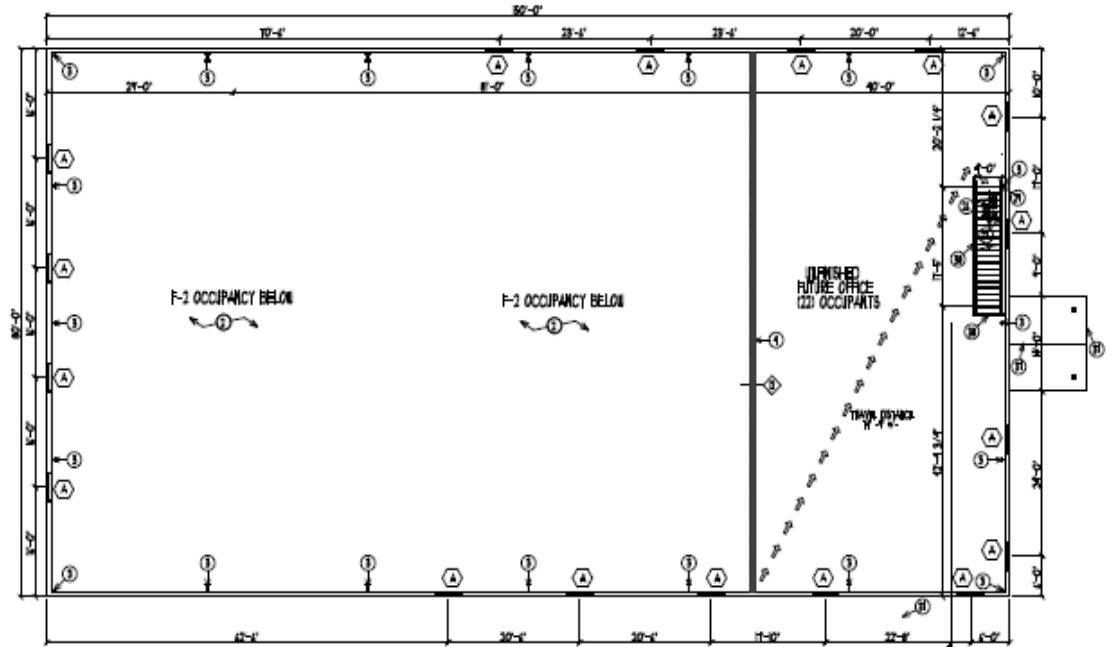
EAST DUAL BOULEVARD

BENCHMARK-942.68 (88 DATUM)  
-TOP NUT HYDRANT

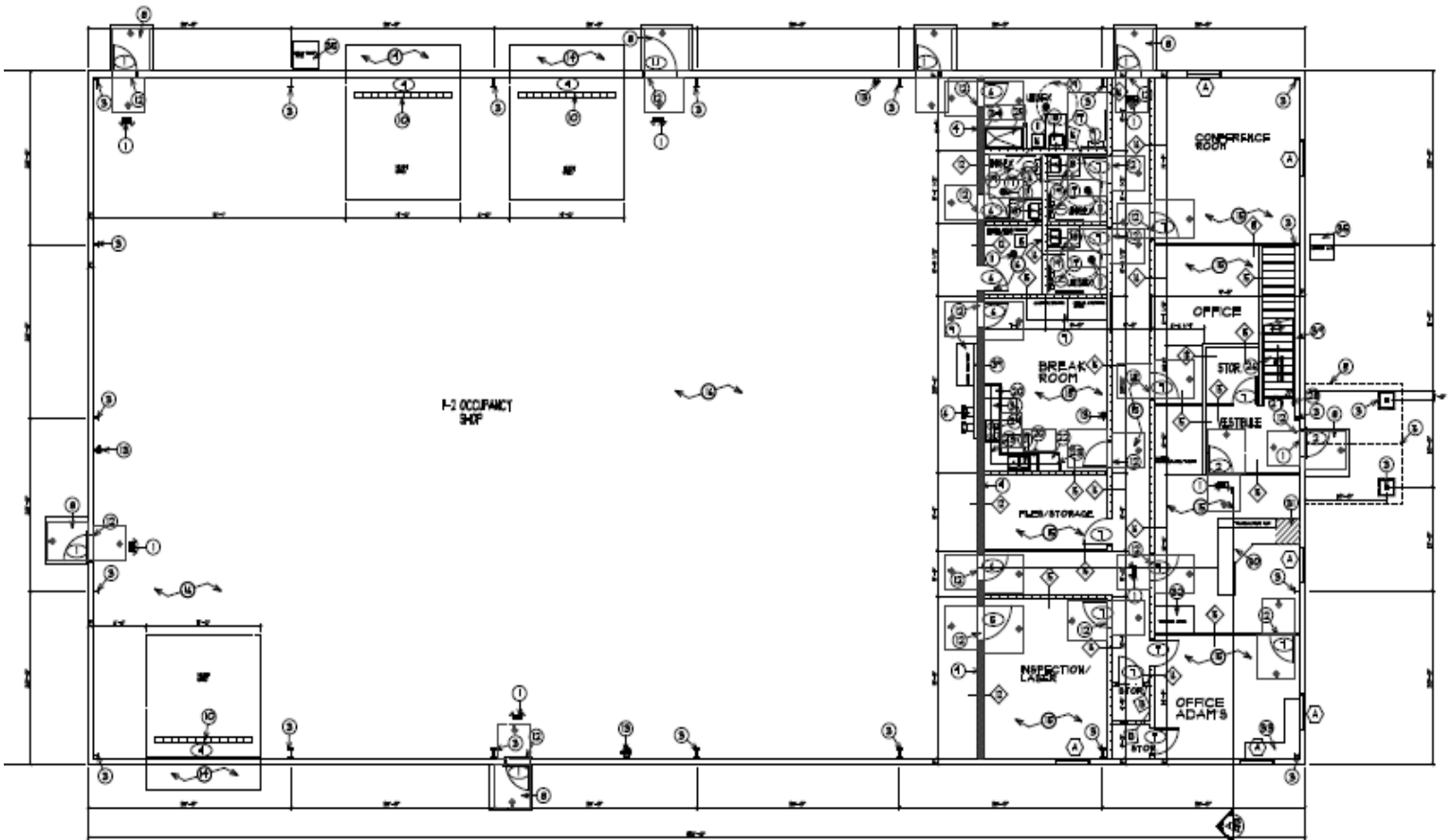
**NOTE: REMOVE EXISTING CURB & GUTTER AND BITUMINOUS PAVEMENT FOR SITE AND PAVEMENT FOR SANI. SEWER CONNECTION (SEE SHEET 06).  
REPLACE CURB & GUTTER AND BITUMINOUS PAVEMENT PER CITY REQUIREMENTS.**

TOC-939.03  
INV-935.07



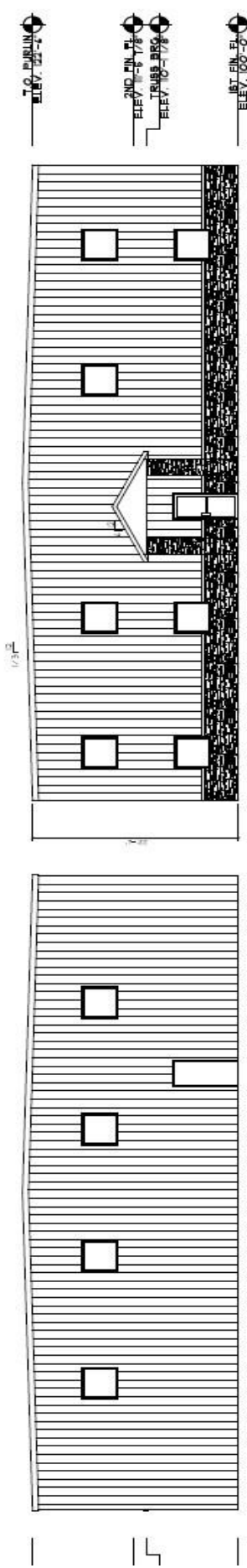


**2ND FLOOR PLAN**  
SCALE 3/32" = 1'-0"



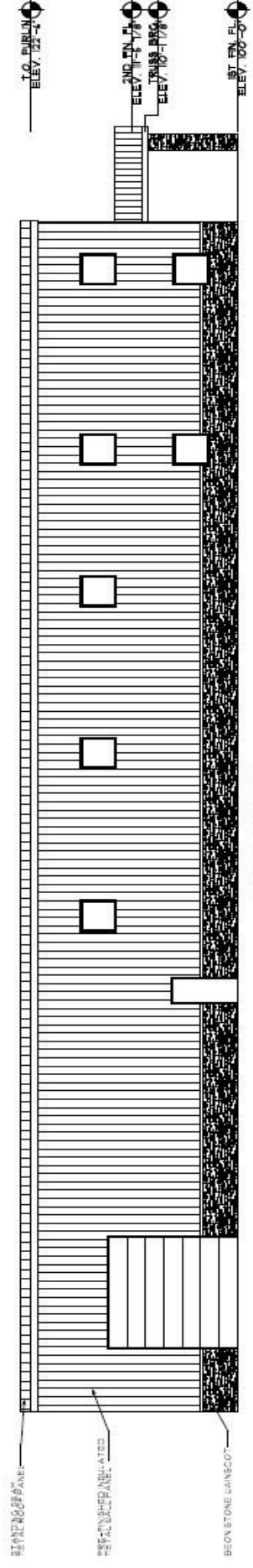
**1ST FLOOR PLAN**  
SCALE 1/8" = 1'-0"



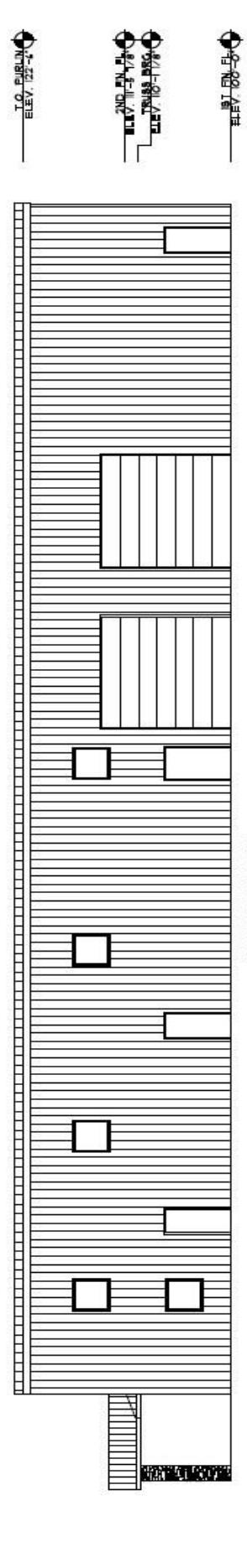


NORTH ELEVATION  
SCALE 1/8"=1'-0"

SOUTH ELEVATION  
SCALE 1/8"=1'-0"



WEST ELEVATION  
SCALE 1/8"=1'-0"



EAST ELEVATION  
SCALE 1/8"=1'-0"



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** September 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Special Tools – Civil Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the plan set entitled “Special Tools” received on August 29, 2022. The project includes the construction of a new building, a parking lot and a storm water pond. We have reviewed the submitted documents and have the following comments:

Utility Plan C 6 of 6:

1. Use existing sanitary sewer stub to avoid cutting into street. See attached record drawing. Verify depths and adjust site accordingly.

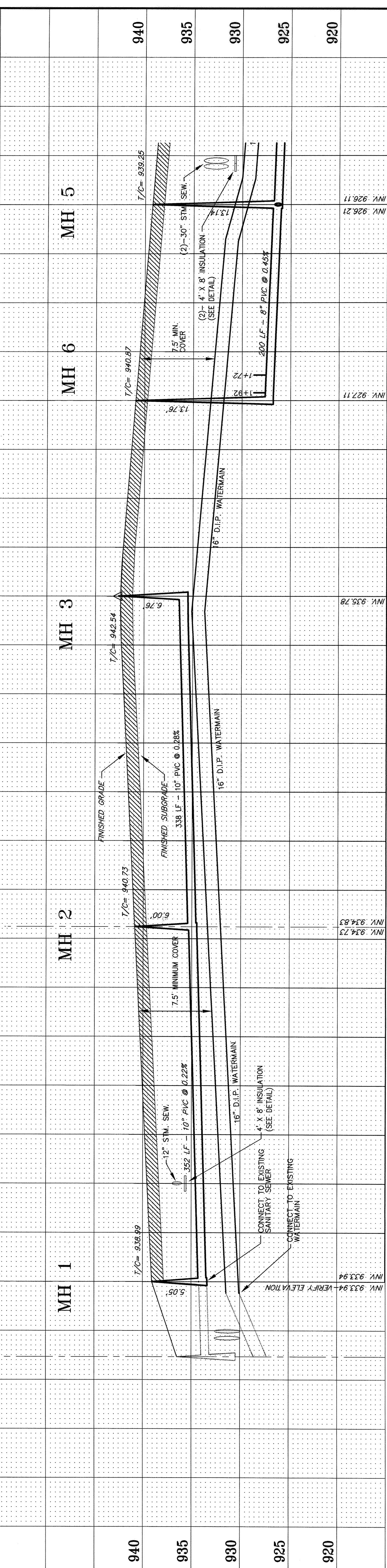
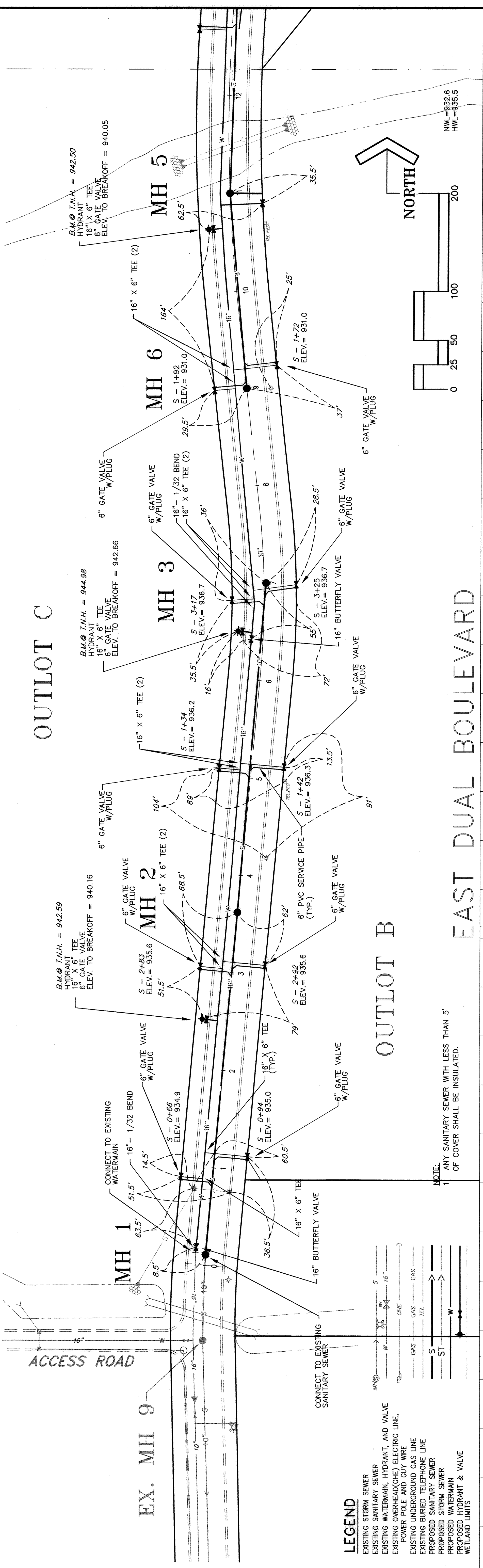
Landscaping Plan CL1 of 1:

2. Sod all disturbed areas not intended for landscaping, or below normal water level of proposed pond.
3. Do not plan trees within 10 feet of the proposed sanitary sewer or water service lines.

Stormwater:

4. Submit Hydraulic Modeling of the storm system and wet pond sizing.
  - a. Verify 2, 10, and 100 year event discharge rates will not be increased from existing.
5. See attached SWPPP checklist and make necessary revisions to address all missing items.
6. Submit NPDES permit to City prior to work beginning on site.

We recommend approval of the plans once the above comments are addressed.



Station	940	935	930	925	920
Manhole	MH 1	MH 2	MH 3	MH 6	MH 5
Invert Elevation (NV)	933.94	934.73	935.78	927.11	926.21
Ground Elevation (NV)	938.99	940.73	942.54	940.87	939.25

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE EXCAVATING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:  
 1. ALL WATERMAIN SHALL BE DUCTILE IRON, CLASS 52, WITH 7.5 FOOT MINIMUM COVER.  
 2. ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35 UNLESS OTHERWISE INDICATED.  
 3. ALL WATERMAIN SHALL BE 16" D.I.P. WATERMAIN.  
 4. SANITARY SERVICES SHALL BE 12" PVC SDR 26.

Scale 1"=50'

Designed	DLK
Drawn	MRD
Date	1/15/03
Checked	DLK
Approved	JJR

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signature: *Jeffrey J. Roos*  
 Name: JEFFREY J. ROOS  
 Date: 3/10/03 License # 10206

No.	Date	By	Remarks
A	01/17/05	AFK	RECORD PLAN REVISION

OUTLOT C

OUTLOT B

EAST DUAL BOULEVARD

CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004

Revision  
 Sheet 7 / 19 A  
 MFFRA FILE NO.: 13938

Project  
 2003 Centennial Industrial Park  
 Street & Utility Improvements  
 Isanti, MN

Client  
 City of Isanti  
 Isanti, MN

Engineering • Planning • Surveying  
 15000 23rd Avenue North • Plymouth, Minnesota • 55447  
 Phone 763/476-6010 • Fax 763/476-8532  
 E-Mail: mfra@mfra.com

MFFRA  
 McCombs Frank Roos  
 Associates, Inc.



**MEMORANDUM**

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: September 20, 2022

SUBJECT: Ordinance Amending the City Zoning Ordinance Section 15: FENCING, SCREENING, AND LANDSCAPING

---

**Overview/Background**

City staff has recently reviewed and worked on revisions of the Fencing, Screening and Landscaping ordinance to be more consistent throughout the section, clear up contradictions and clarify requirements for all zoning districts.

To amend the ordinance a public hearing must be called and should be opened for public comment at this time. The Planning Commission should discuss if the changes are acceptable as presented and researched by staff.

**Staff Recommendation**

Staff recommends recommendation of approval of the amendments to the City Zoning Ordinance Section 15.

**Attachments**

- Ordinance XXX

## SECTION 15: FENCING, SCREENING, AND LANDSCAPING

Subdivision 1	General Provisions
Subdivision 2	Residential Fences
Subdivision 3	Non-Residential Fences
Subdivision 4	Screening Fences and Planting Screens
Subdivision 5	Landscaping Requirements

### Subdivision 1: General Provisions.

Except as otherwise provided herein, all fences and walls within the City shall be subject to the following general provisions:

- A. Permit Required.
1. Building Permit. Prior to the construction and/or installation of a fence and/or retaining wall over four (4) feet in height, an application for a building permit shall be obtained from the City and shall specify the intended location, character, and size of such fence or wall.
  2. Zoning Permit. For all other fences and retaining walls, not meeting the requirements for a building permit, a zoning permit must be obtained prior to construction on the property.
- B. Maintenance. All fences and retaining walls shall be properly maintained, so as not to become unsightly, hazardous, or constitute a nuisance. Damaged and destroyed fences and retaining walls shall be removed and replaced within thirty (30) days upon written notice from the Community Development Director or his/her designee. All fence structures shall be maintained at the property owner's expense. The persons, firms, corporations, or individuals constructing or causing the construction of such fence structures shall be responsible for maintaining that part of the property between the fence structure and the property line.
- C. Installation.
1. The side of any fence or wall considered to be its "face" (finished side with no structural supports) shall face either the abutting property or the street right-of-way.
  2. Upon installation of the fence structure, no physical damage shall occur to the abutting property owner unless it has been permitted under written agreement with the adjacent property owner.
- ~~D. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed wire fencing is prohibited in all non-industrial districts.~~
- ~~E. Setbacks.~~
- ~~1. On corner lots or lots adjacent to railroad right of ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.~~
  - ~~2. Privacy fences shall be setback a minimum of two (2) feet from any street right of way.~~
  - ~~3. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.~~
  - ~~4. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.~~
  - ~~5. No fences shall be permitted within a stormwater flow path.~~
  - ~~6. Fences within a storm pond drainage easement must provide for the free flow of water by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.~~
  - ~~7. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)~~
- ~~F. Retaining Walls. Retaining walls exceeding four (4) feet in height, including staged walls which cumulatively exceed four (4) feet in height, must be constructed in accordance with plans prepared by a registered engineer or landscaped architect. Building permits for construction of a retaining wall over four (4) feet are required.~~

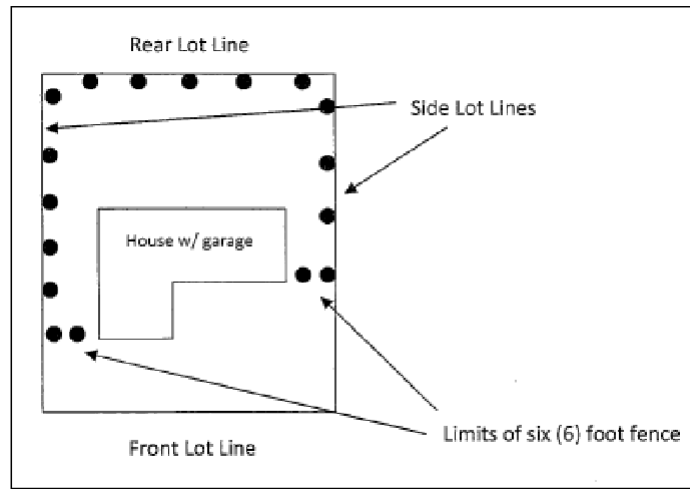
- G. Property Owner Responsibility. Any **fence structure** located on the property line or within a drainage and utility easement shall be removed upon request of the City and at the expense of the property owner.

**Subdivision 2: Residential Fences**

The following regulations shall apply to all residential properties located within the City.

- A. Maximum Height. Fences shall be no higher than three (3) feet when extended past the front corner of the home or garage of the principal structure. Fences shall be no higher than six (6) feet in the rear and side yards and shall not extend past the front corner of the principal structure. Fence height shall be measured from the finished grade level.

**FIGURE 12: Fence Location**

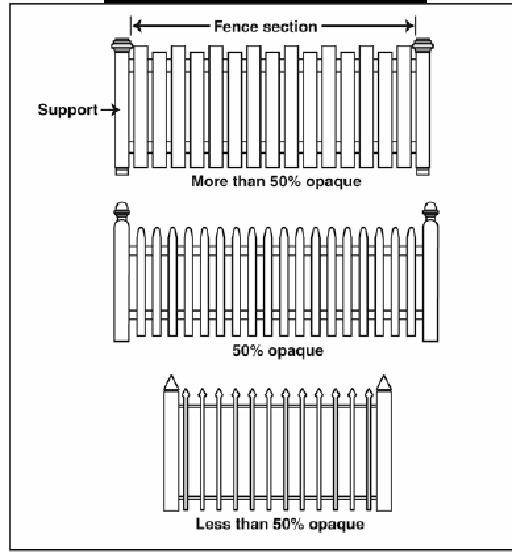


Note: Drawing has been provided to show the limitations on the location of a six (6) foot fence, in reference to the principal structure on an interior lot only. Corner lots must meet the requirements as provided within the text of this Ordinance.

- B. Exceptions. The following exceptions apply to residential fences.
1. On corner lots, the street side setback may match the setback of the prevailing fence line of the corner lot immediately abutting such property. However, at no time shall the fence be within the right-of-way or the vision clearance triangle, as shown within Section 4 of this Ordinance. Such fence location shall be subject to approval by the Community Development Director or his / her designee. (*Ord. No. 623*)
  2. On corner lots and through lots, a four (4) foot chain-link fence that is less than ten (10) percent opaque or ninety (90) percent transparent may be placed along the secondary street frontage.
  3. Fences permitted past the front corner of the principal structure shall meet the height requirements as specified within this Section. Chain-link fences shall not be permitted within the front yard. A decorative fence is the only type of fence permitted past the front corner of the principal structure and shall have an opaqueness of no greater than 50%.
  4. Screening fences, as required by Chapter 227, Article II of the City Code of the City of Isanti; for screening of stored recreational vehicles within the side or rear yard shall meet one of the following acceptable screening options: (*Ord. No. 608*)
    - a. A fencing screen per Subdivision 4(A) of this Section and shall obscure from view at ground level any neighboring property or public street by at least 80% of the area.
    - b. Installation of a planting screen. Where natural materials, such as trees or hedges are approved in lieu of required screening by means of walls or fences, density and species of planting shall be such to achieve 80% opaqueness year-round from view at ground level at any neighboring property or public street.
      - (1) Acceptable plantings include arborvitae, upright juniper, upright yew, fountain hemlock, or other species approved by the Zoning Administrator.
      - (2) Plants shall be 4'-5' in height when purchased for installation.
      - (3) Plantings must be spaced within half the plants spread at maturity.

- (4) Plant material centers shall not be located closer than three (3) feet from a side or rear property line or twelve (12) feet from a front property line and shall not be planted to conflict with public plantings, drainage and utility easements, sidewalks, trails, fences, parking areas, and driveways based on the judgment of the Community Development Director or his/her designee.
- (5) All planting screens shall be reviewed and approved by the Community Development Director or his/her designee.
- (6) Planting screens shall be maintained in a healthy condition. Dead material shall be removed and replaced within thirty (30) days upon written notice of the Community Development Director or his/her designee.

**FIGURE 13: Fence Opacity**



- C. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed-wire fencing is prohibited in all non-industrial districts.
- D. Setbacks.
  - a. On corner lots or lots adjacent to railroad right-of-ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.
  - b. Privacy fences shall be setback a minimum of two (2) feet from any street right-of-way.
  - c. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.
  - d. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.
  - e. Fences within a storm pond drainage easement **must provide sufficient ground clearance for the free flow of water or be made of chain-link material.** by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.
  - f. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)

### Subdivision 3: Non-Residential Fences

- A. Commercial ~~and Industrial~~ properties located in the B-1, B-2, B-3, CBT-1, CBT-2 zoning districts may construct security fences up to six (6) feet in height. Fences in excess of six (6) feet shall require a conditional use permit. Properties located in the I-1 Industrial Park District may construct security fences up to ten (10) feet in height. Fences in excess of ten (10) feet shall require a conditional use permit.

- B. Barbed-wire fencing is permitted in Industrial Districts only. Barbed wire security arms shall be constructed at a minimum of six (6) feet in height. The security arm shall be angled in such a manner that it does not overhang any lot lines.
- C. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed-wire fencing is prohibited in all non-industrial districts.
- E. Setbacks.
  - a. On corner lots or lots adjacent to railroad right-of-ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.
  - b. Privacy fences shall be setback a minimum of two (2) feet from any street right-of-way.
  - c. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.
  - d. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.
  - e. Fences within a storm pond drainage easement **must provide sufficient ground clearance for the free flow of water or be made of chain-link material.** by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.
  - f. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)

**Subdivision 4: Non-Residential Screening Fences and Planting Screens**

All commercial and industrial uses and transitional lot areas as stipulated within this ordinance that are required to provide screening shall do so through the use of one of the following, subject to recommendation by the Planning Commission and approval by the City Council.

- A. Screening Fence.
  - 1. Screening fences on properties located in the B-1, B-2, B-3, RC, CBT-1, and CBT-2 zoning districts shall be at maximum of six (6) feet in height with a minimum opacity of 80 percent. Screening height shall be measured from the finished grade level.
  - 2. Screening fences on properties located in the I-1 Industrial Park District shall be a maximum of ten (10) feet in height with a minimum opacity of 80 percent. Screening height shall be measured from the finished grade level.
  - 3. Screening fences shall be constructed of masonry, brick, wood, chain-link or steel and shall be compatible with the principal building on the site and with the surrounding properties.
  - 4. Screening fences or screening walls shall be setback five (5) feet from the property line.
  - 5. If the property is not adjacent to a street right of way, screening may be placed along the property line, providing mutual written consent has been granted by the abutting property owners and filed along with a copy of the certificate of survey to the City prior to construction.
  - 6. Barbed-wire fencing is permitted in ~~industrial districts~~ the I-1 Industrial Park District only, ~~and~~ provided that the following conditions are met:
    - a. The fencing shall be constructed at a minimum of six (6) feet above ground level.
    - b. The fencing does not overhang any lot lines.
  - ~~7. Screening fences or walls shall be setback five (5) feet from the property line, if a mutual written agreement has not been filed and if the property is not adjacent to a street right of way.~~
  - 8. A combination of coniferous and deciduous trees may be planted to soften the appearance of the fence or wall from adjacent properties or the public street.
- B. Planting Screens.
  - 1. Planting screens shall consist of a row of alternating evergreen and deciduous trees and shrubs. The species and size shall be in accordance with Subdivision ~~5~~ 6, of this Section.
  - 2. The trees shall be placed in such proximity as to form a screen.
  - 3. Planting screens shall be maintained in a healthy condition. Dead material shall be removed and replaced within thirty (30) days upon written notice of the Community Development Director or his/her designee.

**Subdivision 5: Retaining Walls.** Retaining walls exceeding four (4) feet in height, including staged walls which cumulatively exceed four (4) feet in height, must be constructed in accordance with plans prepared by a registered engineer or landscaped architect. Building permits for construction of a retaining wall over four (4) feet are required. Construction of retaining walls under four (4) feet in height require a zoning permit. All retaining walls must be installed according to manufacturer’s specifications

A. Setbacks.

1. Retaining walls shall be setback a minimum of five (5) feet from any street right-of-way.
2. Retaining walls shall be located on the property of the owner.
3. No retaining wall shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the landscaping structure and the water shutoff valve must be maintained.
4. No retaining walls shall be permitted within a stormwater flow path or within storm pond drainage easements.

**Subdivision 6: Landscaping Requirements**

- A. Purpose. The purpose of this Subdivision is to provide specifications, which will guide landscaping within residential, commercial, mixed-use, and industrial districts; will provide buffering between different and more intense land uses; will ensure that native trees and vegetation are preserved and replenished ; will aid in the stabilization of the environment’s ecological balance by reducing stormwater runoff and improving surface water quality; and will enhance the overall beauty and appearance of the City.
- B. General Requirements.
1. City Tree lists. The following trees may be used to meet planting and landscaping requirements. If other tree varieties are desired; they shall be approved by City Staff.

**TABLE 4: Primary and Secondary Deciduous Tree List**

<b>Primary Deciduous Trees</b>	<b>Common Names</b>
Acer freemanii	Autumn Blaze (Red Maple x Silver Maple)
Acer platanoides (various species)	Norway Maples - Cleveland, Columnar, Crimson King, Emeral Lustre, Emerald Queen, Schwedler, etc.
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple or Hard Maple
Betula nigra	River Birch
Carya ovate	Shagbark Hickory
Celtis occidentalis	Hackberry
Quercus alba	Oak, White
Quercus cocceinea	Scarlet Oak
Quercus macrocarpa	Oak, Bur
Tilia Americana	American Linden (aka – Basswood)
Tilia cordata	Littleleaf Linden or Greenspire Linden
<b>Secondary Deciduous Trees</b>	<b>Common Names</b>
Acer pseudoplatanus	Sycamore Maple
Aesculus hippocastanum	Horse Chestnut
Aesculus octandra	Yellow Buckeye
Aralia elata	Japanese Angelica Tree
Betula alleghanie	Yellow Birch
Betula lenta	Sweet or Black Birch
Carpinus betula	European Hornbeam
Carya cordiformis	Bitternut Hickory
Corylus columna	Turkish Filbert

Catalpa speciosa	Northern Catalpa
Fagus	Beech (both North American and European)
Ginkgo biloba	Ginkgo (only male trees permitted)
Gleditsia triacanthos inermis	Honeylocust, thornless or 'Imperial' or 'Skyline'
Gymnocladus dioicus	Kentucky Coffeetree
Junglans nigra	Black Walnut
Liriodendron tulipifera	Tuliptree (best grown w/ sprinkler system)
Phellodendron amurense	Amur Corktree
Quercus rubra	Red Oak
Quercus palustris	Pin Oak
Tilia x euchlora	'Redmond' Linden
Tilia platyphyllos	Bigleaf Linden

**TABLE 5: Ornamental Tree List**

<b>Ornamentals</b>	<b>Common Names</b>
Acer ginnala	Maple, Amur
Acer tataricum	Tatarian Maple (similar to Amur Maple)
Amelanchier	Serviceberry or Juneberry
Carpinus caroliniana	American Hornbeam
Cornus alternifolia	Pagoda Dogwood
Crataegus spp.	Hawthorne 'Winter King' or 'Washington'
Maackia amurensis	Amur Maackia
Malus baccata columnaris	Crabapple, Columnar Siberian
Malus (various species)	Crabapple, flowering – Varieties; Dolgo, Flame, Radiant, Red, Silver, Red Splendor
Ostrya virginiana	Ironwood (aka – American Hophornbeam)
Prunus cerasifera	'Newport' Plum, Newport
Prunus maackii	Amur Chokecherry
Prunus triloba	Plum, flowering or Rose Tree of China
Prunus virginiana	'Schubert' Chokecherry, Schubert's
Syringa reticulata	Japanese Tree Lilac

**TABLE 6: Coniferous Tree List**

<b>Conifers</b>	<b>Common Names</b>
Abies balsamea	Fir, Balsam
Abies concolor	Fir, Concolor
Larix laricina	Tamarack
Picea abies	Spruce, Norway
Picea glauca	Spruce, White
Picea glauca densata	Spruce, Black Hills
Picea pungens	Spruce, Colorado Green
Picea pungens	'Glauca' Spruce, Colorado Blue
Pinus nigra	Pine, Austrian
Pinus ponderosa	Pine, Ponderosa (may not be hardy)
Pinus resinosa	Pine, Norway (aka – Red Pine)
Pinus strobus	Pine, White
Pinus sylvestris	Pine, Scotch
Pseudotsuga menziesii	Fir, Douglas
Thuja occidentalis	Arborvitae
Thuja occidentalis	'Techny' Techny Arborvitae

**TABLE 7: Permitted Trees Not Meeting Landscaping Requirements**

<b>Allowed – but not used to meet requirements</b>	
Acer saccharinum	‘Silver Queen’ Maple, (still weak limbs/large roots)
Aesculus glabra	Ohio Buckeye (questionable – mildew, blight, leaf scorch all of which may disfigure)
Betula papyrifera	Birch, Paper (questionable – birch borer – understory)
Elaeagnus angustifolia	Russian Olive
Morus (Rubra and Alba)	Red and White Mulberry
Populus tremuloides	Quaking Aspen
Quercus bicolor	Oak, Bicolor (recategorized because it prefers clay soil)
Robinia pseudoacacia	Black Locust
Salix	Willow
Ulmus Americana	American Elm (recategorized – Dutch Elm Disease)
Rhus	Sumac

**TABLE 8: Prohibited Trees**

<b>Not allowed to be planted within the City</b>	
Acer negundo	Boxelder
Betula pendula	‘Dalecarlica’ Birch (aka – cut leaf weeping)
Rhamnus	Buckthorn
Ulmus pumila	Siberian Elm
Populus	Poplar
Populus deltoids	Cottonwood

- ~~2. All properties shall provide one (1) tree per fifty (50) feet of lot frontage, or fraction thereof.~~
- ~~3. Deciduous trees shall be two and one half (2.5) inches in diameter and Coniferous/Evergreen trees shall be six (6) feet in height above the root ball at the time of installation.~~
- ~~4. All trees shall be measured according to American Standards for Nursery Stock.~~
- ~~5. No more than fifty (50) percent of the required trees provide on the property may be of the same species.~~
6. Underground sprinkler systems.
  - a. Sprinkler systems shall be provided as part of each new development for all landscaped areas, except those areas on the property that will be preserved in their natural state.
  - b. Single-family and two-family dwellings as well as additions to existing structures, in which the addition will not exceed the floor area of the existing structure, are exempt from this provision.
  - c. On all lots, the City may permit alternative landscaping options, which may not require an irrigation system. Such alternative options shall be reviewed by the Planning Commission. Alternative landscape options include, but are not limited to, rock gardens, **natural prairie grass**, and rain gardens.
7. Tree Preservation Requirements.
  - a. A reasonable attempt shall be made to preserve as many existing trees as practicable on a property.
  - b. Existing trees identified to be preserved shall be protected by orange snow fencing. The fencing shall be installed at the dripline and shall remain in place throughout the construction process, from excavation to the completion of the landscaping.
  - c. No construction materials or equipment shall be located within the fenced area. Grade changes within the fenced area are prohibited. Soil compaction in the critical root zone or damage to trunks or limbs shall be avoided.
  - d. Should the property owner, developer, or homeowner fail to install or maintain tree protection fencing; existing trees located on the property shall not be counted towards the landscaping requirements.

- C. Residential Requirements. In addition to the general requirements noted, properties located within residential districts, shall be subject to the following regulations.
1. Soil Requirements. All disturbed areas that are not planned to receive an impervious surface shall be graded and finished with a minimum layer of four (4) inches of Premium Topsoil that is screened, pulverized and in compliance with the requirements as defined by MNDOT specifications Section.
    - a. The topsoil shall be hauled from a pre-approved source certified by the Minnesota Department of Transportation or the material shall be tested by an independent laboratory hired by the applicant. Any material tested that is not within MNDOT standards will be considered not in compliance and rejected from use within the City limits.
    - b. A certificate or written verification shall be provided to the Building Official, which includes the name of the certified site in which the soil was purchased, the type of soil, and the purchase date.
    - c. No credit will be given for soil thickness associated with the soil attached to the root zone of sod rolls. Any area receiving sod shall be graded with four (4) inches of premium topsoil before the sod is placed.
  2. Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. ~~The Building Official may waive this requirement upon inspection of the property.~~
  3. Tree Requirements. The following quantity and type of trees are required, unless otherwise set forth in the development agreement or conditions thereof for the coinciding Planned Unit Development.
    - a. All residential properties shall provide a minimum of two (2) trees.
    - ~~b. Residential lots exceeding 8,000 square feet in area shall provide a minimum of three (3) trees upon the property. Corner lots and lots exceeding 12,000 square feet in area shall provide a minimum of four (4) trees.~~
    - ~~c. When calculating the number of required trees, whether based upon lot area or lot frontage, the greater of the two shall be provided.~~
    - d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. ~~If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species.~~ Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.
  4. Tree Location.
    - a. Each tree shall be planted a minimum of five (5) feet from the public right-of-way.
    - b. The majority of trees shall be planted in front of the primary structure. For corner lots, trees may be planted along the secondary street frontage.
  - ~~5. Tree Substitutions.~~
    - ~~a. Conifers and deciduous trees found on the City's Secondary Tree list may be substituted for a Primary Tree at a ratio of 3:2.~~
    - ~~b. If smaller trees are utilized, one and one-half (1.5) inch Primary Trees may be substituted at a ratio of 2:1 for full-sized trees.~~
    - ~~c. Secondary or Ornamental trees, one and one-half (1.5) inches in diameter or four (4) foot-tall conifer trees may be substituted at a ratio of 3:1 for required full-sized Primary trees.~~
  6. Maintenance of Landscaping.
    - a. The owner or tenant shall be responsible for the maintenance of landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris.
    - b. Trees and ground cover that are required by this Ordinance or by an approved site or landscape plan and which have died or have been removed shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.
  7. Decorative Landscaping. This includes flower beds, rock gardens and any planting(s) or structures other than established turf.
    - a. Any planting or decorative items placed in any right of way and/or easement is the responsibility of the property owner to maintain.
    - b. The City will not be held liable for any damage to any planting or decorative items placed in

- any right of way and/or easement, all costs associated with any damage or loss of such decorative landscaping shall be the responsibility of the property owner.
- c. The City may require resident to move landscaping due to unforeseen circumstances, If City must remove the property owner will incur all associated costs.
- d. Natural prairie grass must follow the recommendations listed on the MN Board of Water and Soil Resources website for Pollinator Lawns and must be approved by City staff prior to planting.

D. Non-Residential Requirements. In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations.

1. Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, professional hydro-seeding, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.
2. Parking Lot Landscaping.
  - a. All parking lots containing over fifty (50) stalls shall be designed to incorporate unpaved, **landscaped islands** in number and dimension as required by the City. ~~All landscape islands shall contain a minimum of 180 square feet.~~
  - b. Islands, which are necessary to promote the safe and efficient flow of traffic shall be in addition to those required for parking lots with over fifty (50) stalls and shall be required by the City when warranted.
  - c. Parking lot landscape areas, including landscape islands, shall be reasonably distributed throughout the parking lot area so as to break-up expanses of paved areas.
  - d. Parking lot landscape areas shall be provided with deciduous shade trees, ornamental trees, evergreen trees, ground cover, mulch and/or shrubbery as determined appropriate by the City Council. Parking lot landscaping shall be contained in planting beds bordered by raised concrete curbs. Alternative landscape options may include, but are not limited to natural prairie grass or rain gardens.
3. Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.
4. Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.
5. Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. ~~The Building Official may waive this requirement upon inspection of the property.~~
6. Tree Requirements.
  - a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
  - b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The City may approve an alternative if such alternative appears to meet the intent of this article.
  - c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
  - d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

E. Escrow Requirements.

1. The City of Isanti requires all required landscaping as defined in this ordinance to be completed prior to the issuance of a Certificate of Occupancy. If a Certificate of Occupancy is requested prior to completion of required landscaping, a landscape escrow in the amount adopted per the City fee schedule is required.
2. The City will deposit the money into an escrow account and hold until such time that work is completed, or --- months, whichever comes first.
3. The escrow account is established through a receipt of escrow in which the aforementioned terms are stated and acknowledged by the payee.
4. Upon completion of the required work, the payee is required to contact the City to schedule required inspections. Once the City has approved the topsoil and the trees/yard inspections, the Finance Department is notified to release the escrow back to the party that posted it originally.
5. Upon failure to comply to landscape requirements within --- months of receipt of the escrow payment, the City will complete landscaping as required using escrow funds. Any expenses incurred to complete the required topsoil, trees, and turf over and above the withheld escrow will be the responsibility of the escrow account holder and billed accordingly.



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, October 18, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

- 1. Meeting Opening**
  - A. Call to Order
  - B. Pledge of Allegiance
  - C. Roll Call
  - D. Agenda Modifications
  - E. Adopt the Agenda
  
- 2. Meeting Minutes**
  - A. Approval of Minutes from the September 20, 2022 Planning Commission Meeting
  
- 3. Public Hearing**
  - A. Request by American First CDL Academy, Inc. for Site Plan approval under City Ordinance 445, Section 18, said request is for a truck driving school located in the Industrial Park District at PID 16.029.1400.
  
  - B. Request by Stephanie Neumann for a Zoning Ordinance Text Amendment, Comprehensive Plan Text/Map Amendment and Conditional Use Permit approval under City Ordinance 445, Section 21, Articles 1 and 2; said request is to allow for the keeping of horses in the R-1A Residential Rural Zoning District, rezoning PID 16.021.0200 from R-1 Single Family Residential to R-1A Residential Rural and to approve a Conditional Use Permit for horse stables.
  
- 4. Other Business**
  
- 5. Discussion Items**
  
- 6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

TUESDAY, September 20, 2022

Immediately following the 7:00 P.M City Council Meeting;

#### 1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:54 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Jimmy Gordan, Steve Lundeen, Paul Bergley, Dan Collison, Arissya Simon  
Members Absent: None  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

#### 2. Meeting Minutes

- A. Approval of Minutes from the August 16, 2022 Planning Commission Meeting, motion by Bergley, second by Simon, motion passes 6-0.

#### 4. Public Hearing

- A. Request by Amy Rockstad for Site Plan approval under City Ordinance 445, Section 18, said request is for a commercial building with tenant spaces for Rockstad and Co. located at 108 Main St E.

Saltis presented the request for site plan approval for a commercial building for Rockstad and Co. It was explained that the site does not provide a parking area and that the Downtown Overlay District provides flexibility and encourages shared parking areas. Discussion was had regarding the setbacks for the building, in which the B-2 Zoning District allows zero lot line setbacks. Landscaping was discussed whether the applicants would have room for tree plantings. The Planning Commission members determined that there is not adequate space on the lot to include tree plantings. The applicants, Amy and Erick Rockstad, were present at the meeting and available for questions from the Planning Commission. The applicants further explained their business and plans for their building/site. No one else from the public spoke at the public hearing. Motion for approval of the site plans for a commercial building was made by Lundeen and seconded by Gordon, motion passed 6-0.

- B. Request by Structural Buildings for Site Plan approval under City Ordinance 445, Section 18, said request is for a manufacturing building for Special Tools Inc. located in the Industrial Park District at PID 16.159.0010.

Saltis presented the request for site plan approval for a manufacturing building for Special Tools Inc. The design of the site was explained and the Planning Commission was shown the floor plans, exterior elevations and landscaping plans.

Discussion was had regarding the wainscoting for the building, in which the I-1 Zoning District requires wainscoting of 1/3 wall height of the building. The Planning Commission members determined that this requirement would bring the stone up to the top of windows and doors of the building and would not make sense aesthetically. The applicants, Adam Klinker of Special Tools Inc and Doug Haechen of Structural Buildings, were present at the meeting and available for questions from the Planning Commission. The applicants further explained their business and plans for their building/site. Specifically, the trash enclosure location was discussed and will be implemented into site plans. The applicants agreed that the conditions of approval for the project are reasonable and can be met. No one else from the public spoke at the public hearing. Motion for approval of the site plans for an Industrial Manufacturing building was made by Lundeen and seconded by Bergley, motion passed 6-0.

- C. Request by the City of Isanti for Zoning Ordinance Text Amendment approval under City Ordinance 445, Section 21, Article 1, said request is to amend Section 15 “Fencing, Screening and Landscaping”. A complete copy of the proposed amendments is available upon request at City Hall, 110-1<sup>st</sup> Ave NW, Isanti, MN 55040.

Hillesheim explained the zoning ordinance text amendment and why the changes need to be made. The Fencing, Screening and Landscaping Ordinance has been reviewed by staff and the changes presented felt necessary due to misinterpretation of the text and contradicting sections found regarding retaining walls, fences, and landscaping requirements for topsoil, tree numbers and turf establishment. Mayor Johnson said that he reviewed the current and proposed ordinances and believes that the new version is cleaner and simplified. Motion for approval of the Zoning Ordinance Text Amendment by Lundeen and seconded by Collison, motion passed 6-0.

**5. Other Business:** None

**6. Discussion Items:** None

**7. Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Collison to adjourn, motion passed 6-0, meeting adjourned at 8:20 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: October 18, 2022

SUBJECT: Site Plan Review for an Industrial building for American First CDL Academy, Inc. located on a vacant lot in the Industrial Park District at PID 16.029.1400

**Request:** The applicant, American First CDL Academy is requesting site plan approval for a proposed industrial building located at PID 16.029.1400 for a truck driving school.

**Overview/Background:** The applicant would like to construct an industrial building on a 4-acre vacant lot located in the Industrial Park District. This parcel is currently zoned I-1 Industrial Park District in which an “Office-Warehouse” and a “Motor Vehicle Repair Facility” are permitted uses. Access to the site will be from East Dual Blvd NE by way of a city-owned easement.

The building is intended to provide offices, classrooms and garage space for the Truck Driving School. The building is proposed to be single story in height and roughly 7,036 square feet. A majority of the site of roughly 100,000 square feet is proposed to be designated driving practice area. Eighteen parking stalls are displayed on the site plans, with these one-way parking stalls oriented at a 45-degree angle. A stormwater pond is shown on site plans near the north property line and will have three catch basins located in the parking lot and driving practice area. A 1 ft high retaining wall is proposed along the western perimeter of the site in between the building and the ditch.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

**Lot Requirements**

- Lot Size Minimum .5 acre
- Minimum Width of Lot at ROW 100 ft
- Minimum landscaping 25% of total lot area

*The area of the parcel is roughly 4 acres in size and exceeds the lot size minimum. The site will meet the minimum landscaping requirements and be under 75% impervious surface.*

### **Setbacks – Principal Building**

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Rear Yard Setback 30 feet

*The proposed building will be located on the north east corner of the site and will meet all required setbacks for the I-1 zoning district.*

### **Impervious Surface Coverage**

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

*Impervious surfaces on site will include the building, paved asphalt parking lot, concrete walkways and Class 5 gravel driving surfaces. Roughly 68% of the development is intended to be impervious surface. The landscaping requirement of 25% of the total lot area as green space will be met.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas are proposed to be surfaced with bituminous pavement. Concrete aprons and sidewalks are proposed around the front of the building leading to the entrance.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the perimeter of the parking lot and paved area leading to the site. Additional curbing comments can be found in the City Engineer's report attached to this memo.*

### **Parking Lot Setbacks**

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from all property lines.*

## **Parking Standards**

### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

### **Industrial Uses**

#### **Industrial Uses**

Manufacturing, assembly, processing, research, experimental or testing stations	1.25 spaces for each employee on the major shift or 1 space for each 500 sq/ft whichever is greater <i>(Ord. No. 617)</i>
Wholesale business establishments	1.25 spaces for each employee on the major shift plus 1 space for each company vehicle
Warehouse / Storage	1 space per 1,500 square feet of floor area <i>(Ord. No. 617)</i>

*Based on this number of required parking spaces standard and the use of the building, the site will be required at least 14 parking spaces (7,000 sf building / 500 sf per parking space) in which one stall would need to be designated as handicap accessible. The site plans indicate 18 total parking stalls, in which one parking stall will need to be designated as handicap accessible. A handicapped accessible sign and striping is required in this parking stall. The site plans meet the required number of parking spaces for the development.*

### **Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.
- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards:

**TABLE 9: Parking Lot and Parking Stall Dimensions**

<b>Angle of Parking</b>	<b>Stall Width</b>	<b>Curb Length Per Car</b>	<b>Stall Length</b>	<b>Aisle Width One Way</b>	<b>Aisle Width Two Way</b>
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet
75 degrees	9 feet	9 feet	20 feet	23 feet	24 feet
60 degrees	9 feet	10 feet	22 feet	18 feet	24 feet
45 degrees	9 feet	12 feet	25 feet	13 feet	24 feet
0 degrees	9 feet	22 feet	19 feet	12 feet	24 feet

*The site features 45-degree parking stalls and will have one-way traffic. Stall dimensions on site plans are not listed but will have to meet the requirements of 9 ft in width and 25 ft in length. The drive aisle width is 18 ft 2 in and will meet the required aisle width for one-way traffic of 13 ft. Directional striping will be required due to one way circulation of the 45-degree angled parking.*

## **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

### **Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
  - 1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
    - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
    - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
  - 2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
  - 3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
  - 4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
  - 5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.

6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*An exterior lighting plan was not included in the submittal. A lighting/photometrics plan is required that will show lighting types that are proposed on site. All lighting types proposed shall be downlit and designed to reduce glare. These light sources will have to meet all criteria listed in Section 14 of the City Zoning Ordinance.*

### **Building Design and Construction**

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
  1. Face brick
  2. Natural stone
  3. Glass
  4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
  5. Factory fabricated, finished 26 Ga. Metal panel
  6. Decorative concrete block approved by the City Council.
  7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
  8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by

the City Council. Minimum wainscot height shall be one-third of the sidewall height and/or specifically approved by the City Council.

9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

*Exterior building materials were not included on plans but visuals were provided to understand the look of the building. From the architectural drawings, it appears that the building is proposed to have red metal roofing and neutral siding with concrete block around the base of all sides of the building. The exterior siding and wainscoting will be a neutral tan color and will be consistent with will surrounding buildings in the Industrial Park District.*

### **Screening, and Landscaping**

- A. Fencing and Screening. Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans. If mechanical equipment is on the exterior of the building, site plans shall be altered to show the location of the equipment.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*There are three large garage doors on the building that can be used for loading and service areas. A building of this size (under 100,000 square ft) does not require a designated loading area.*

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

*The site abuts a residential property to the east and a privacy fence will be required as screening.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*An outdoor trash enclosure is required for this Industrial site. Site Plans do not show a location where this trash enclosure will be placed. Site plans must be modified to show the location of the enclosure for staff review. The enclosure shall meet performance standards set in Section 14, Subdivision 3 of the City Zoning Ordinances.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*The site is adjacent to a residential property to the east of the site. Screening will need to be provided with a privacy fence to protect from glare of vehicle headlights.*

## **Landscaping**

**Non-Residential Requirements.** In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations.

**Minimum Landscaping Requirements.** All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

**Maintenance of Landscaping.** The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

**Soil Requirements.** A minimum of four (4) inches of topsoil shall be provided upon all lots.

**Turf Requirements.** All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

### **Tree Requirements.**

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.

- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*There was not a separate landscaping plan submitted. Civil plans show plantings and trees proposed near the south entrance of the building. The City Landscaping Ordinance requires that the site have at least 8 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage). Tree and planting species shall comply with Section 15 of the City's Zoning Ordinances. Sod shall be planted on all areas not disturbed by new construction or not already covered by established lawn or turf.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the "R-1", "R-2", and "R-3A" Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*The trash receptacle location is not designated on site plans. The receptacle will have to be enclosed, fenced or screened. The trash receptacle/enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City's Zoning Ordinances. The trash enclosure shall also be illuminated for the safety of employees.*

## **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

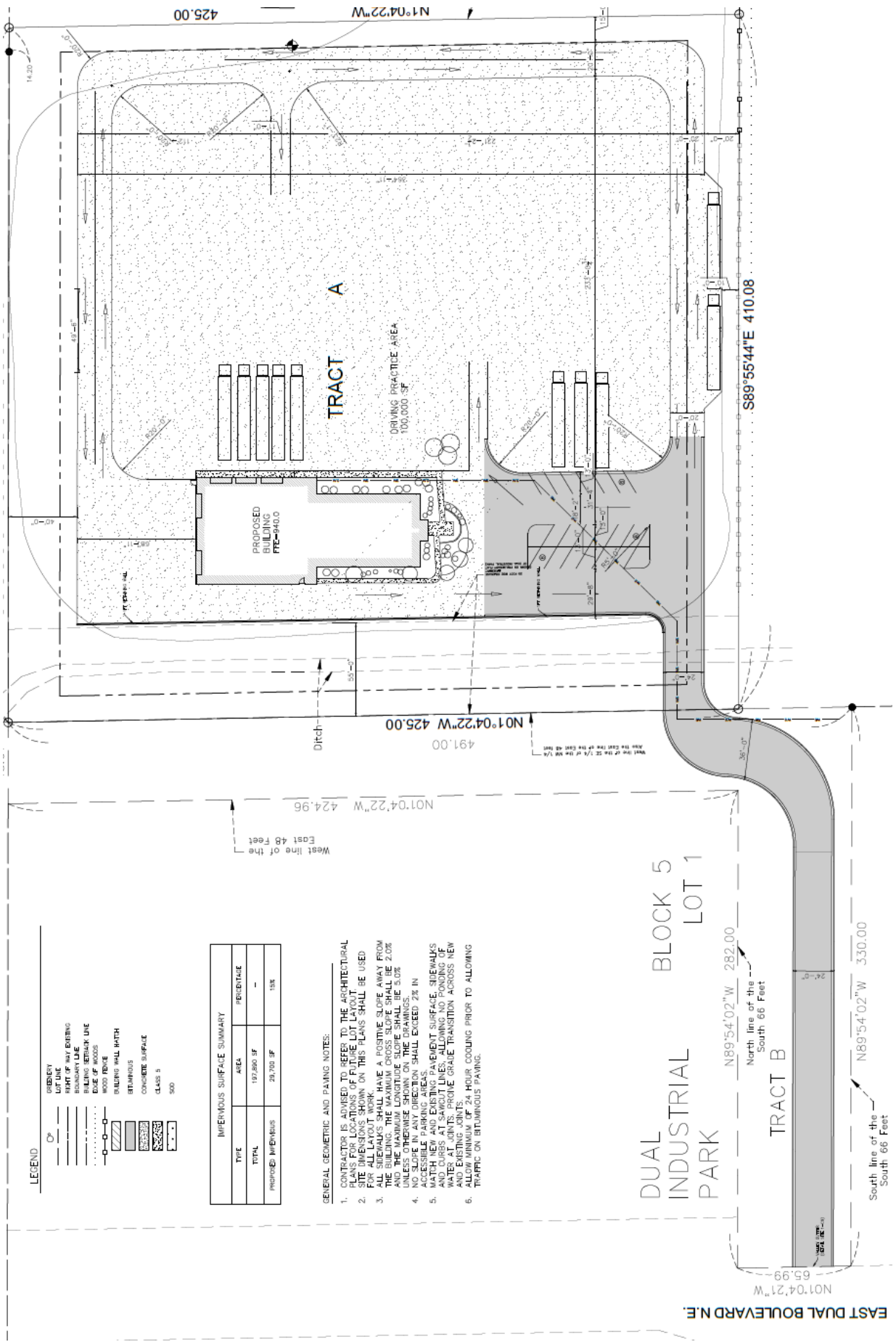
**Staff Recommendation:** Staff recommends approval of the proposed Special Tools manufacturing building located at PID 16.159.0010 with the following conditions:

### Conditions:

- Privacy Fencing or screening shall be provided along the east property line for a buffer between this industrial property and abutting residential property
- A handicapped accessible parking stall is required and shall be designated using striping and signage
- Parking stalls shall be at least 9 ft in width and 25 ft in length to comply with the city's parking stall dimension chart found in Section 17 of the City Zoning Ordinances
- One-way drive aisle widths for 45-degree angle parking shall be at least 13 ft if the parking lot gets altered due to extended stall length requirements
- Directional striping is required for the paved parking area due to the 45-degree angled stalls and one way circulation
- Trash receptacle shall be designated on site plans and fenced or screened by a permanent structure in accordance with Section 14, Subdivision 3 of the City's Zoning Ordinances.
- Trash enclosure shall be illuminated for the safety of employees
- Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
- Landscaping trees and plantings shall follow Section 15 of the City's Zoning Ordinances.
- All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the Fire Chief's memo, dated 9/30/2022
- All other conditions listed in the City Engineer's memo, dated 10/3/2022

### Attachments:

- Site Plans
- Floor Plans
- Exterior Elevations
- Fire Chief's Memo Dated 9/30/2022
- City Engineer's Memo Dated 10/3/2022



- LEGEND**
- ORBITRY
  - LOT LINE
  - LOT LINE MAY EXISTING
  - BOUNDARY LINE
  - BUILDING SETBACK LINE
  - EDGE OF WOODS
  - WOOD TRUNK
  - BUILDING WALL WITH STUMPS
  - CONCRETE SURFACE
  - CLASS 5
  - 300

IMPERVIOUS SURFACE SUMMARY		
TYPE	AREA	PERCENTAGE
TOTAL	197,200 SF	-
PROPOSED IMPERVIOUS	29,700 SF	15%

- GENERAL GEOMETRIC AND PAVING NOTES:**
- CONTRACTOR IS ADVISED TO REFER TO THE ARCHITECTURAL PLANS FOR LOCATIONS OF FUTURE LOT LAYOUT.
  - SITE DIMENSIONS SHOWN ON THIS PLAN SHALL BE USED AS A GUIDE ONLY.
  - ALL SIDEWALKS SHALL HAVE A POSITIVE SLOPE AWAY FROM THE BUILDING. THE MAXIMUM CROSS SLOPE SHALL BE 2.0% AND THE MAXIMUM LONGITUDE SLOPE SHALL BE 5.0%.
  - NO SLOPE IN ANY DIRECTION SHALL EXCEED 2% IN ACCESSIBLE PARKING AREAS.
  - MATCH NEW AND EXISTING PAVEMENT SURFACE. SIDEWALKS OVER EXISTING SIDEWALKS SHALL ALLOWING AND PONDING OF WATER AT JOINTS. MATCH EXISTING GRADE TRANSITION ACROSS NEW AND EXISTING JOINTS.
  - ALLOW MINIMUM OF 24 HOUR COOLING PRIOR TO ALLOWING TRAFFIC ON BITUMINOUS PAVING.

DUAL INDUSTRIAL PARK  
BLOCK 5  
LOT 1

EAST DUAL BOULEVARD N.E.

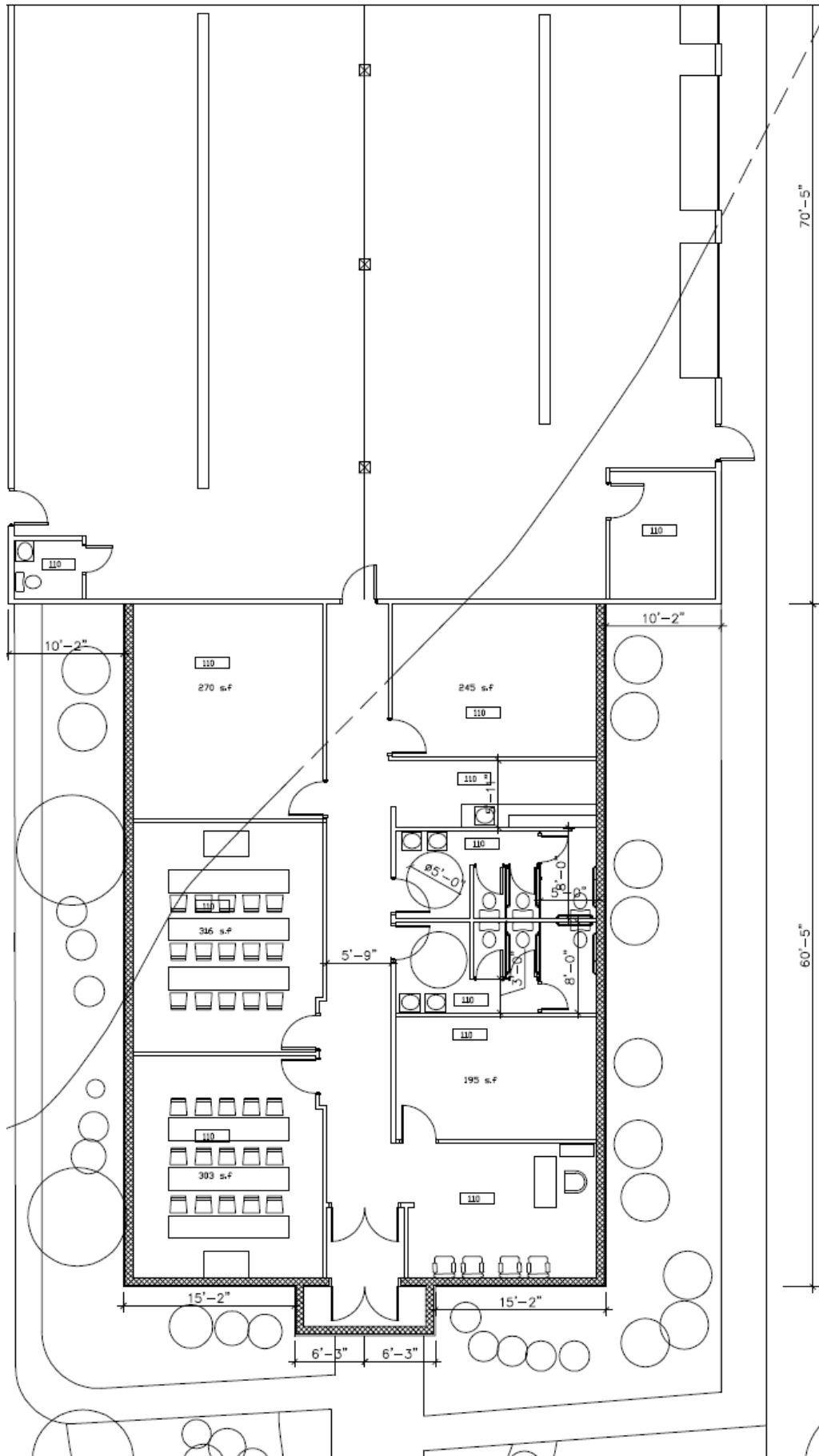
TRACT B  
North line of the South 66 Feet  
N89°54'02"W 282.00  
South line of the South 66 Feet  
N89°54'02"W 330.00

West line of the East 45 Feet  
N01°04'22"W 424.96

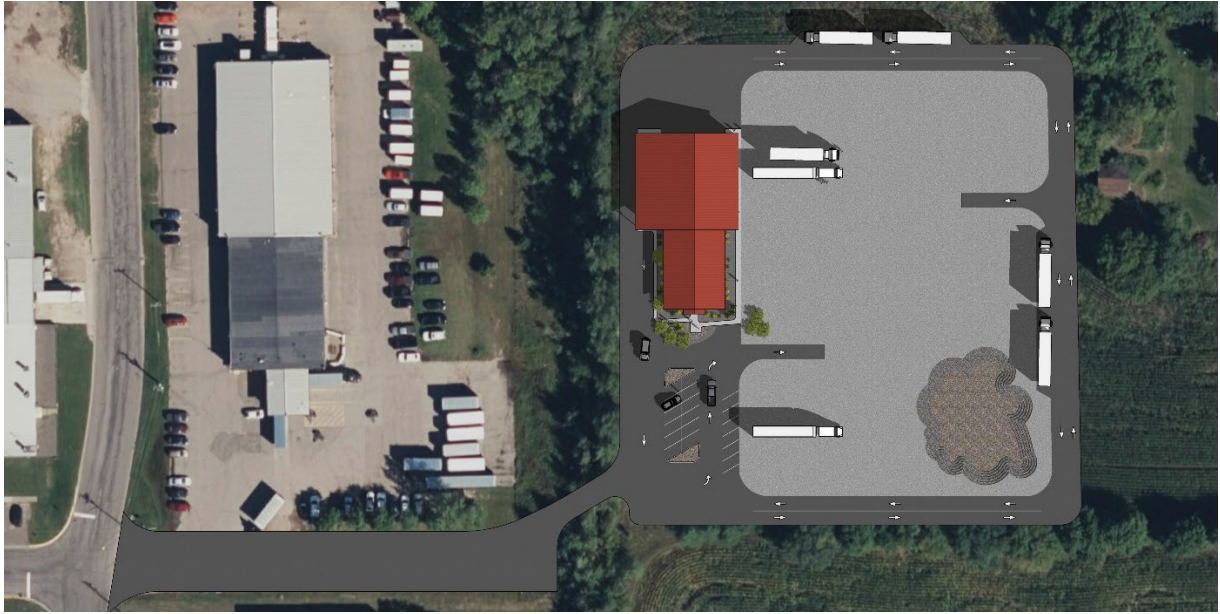
N01°04'22"W 425.00  
Ditch

S89°55'44"E 410.08

N1°04'22"W 425.00







September 30, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: American First CDL Academy, Inc

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed truck driving school business to be built on parcel 1 60291 400 by American First CDL Academy, Inc.

Isanti Fire supports the conditions outlined in the September 21, 2022 plans ensuring the below, and all City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code*.

Due to the unique entrance to the facility, we seek compliance with Section 503 of the MN State Fire Code; *Fire Access Roads* and Appendix D, *Fire Apparatus Access Roads*. Continuing with a minimum 20' width with 28' radius **would require** signage per Appendix D, 103.6 *Fire Lane Signs*.

We request to confirm the entrance driveway radius dimensions prior to continuation.

Please contact me for further clarity if needed.

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich".

Alan Jankovich | Fire Chief  
Isanti Fire District



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** October 3, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Truck Driving School – Site Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Truck Driving School” with a preliminary stamp and dated of 9/21/2022.

The plan includes the construction of a new building, parking lot and a storm sewer system with a pond.

We have reviewed the submitted documents and have the following comments:

### Site Plan:

1. Sheet C-2 Survey Plan:
  - a. Survey topo will be needed along the entire entrance road and connection points.
2. Sheet C-3 – Civil Site Plan:
  - a. Class 5 surface is considered impervious. Update the impervious area table and percentage.
  - b. No curb is needed along the entrance road that falls within the City owned “Tract B”.
    - i. Survey and proposed grades are needed along the entrance road.
  - c. The 1-foot tall wall along the west side of the site seems unnecessary and hazardous. Recommend a curb run along the entire west side to prevent vehicles from going into ditch.
  - d. A perimeter privacy fence is required around the perimeter of the site if the entire drivable surface is not paved and perimeter curb installed.
  - e. The 10-foot radius circles around the two inlets shall be paved (concrete or bituminous)
3. Sheet C-4 – Erosion & Sediment Control Plans:
  - a. Show impervious lined pond as there is not 3 feet of separation from the water table.
    - i. Show erosion control blanket and seed type where slopes are 4:1 or greater including around pond and embankment slopes down to ditch.
    - ii. Show sod locations
    - iii. Show silt fence along west side of wall at top of ditch slope.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

- b. The gravel surface cannot drain away from the site. The entire west side of the building appears to sheet drain directly to the ditch.
4. Sheet C-6 – SWPPP:
  - a. Submit City SWPPP checklist (attached)
  - b. Submit NPDES Permit to City prior to beginning work.
5. Sheet C-7 – Grading Plan:
  - a. Show spot elevations on the proposed curb & gutter with slopes called out.
  - b. Show slope labels on the proposed gravel and around the perimeter of the gravel on the proposed grass surfaces to match existing.
  - c. Call out low elevation between the two inlets, it should not be more than 0.5' above the proposed rims.
  - d. Call out low elevation along the north edge of the proposed gravel where the north inlet would overflow. It should not be more than 0.5' above the proposed rim.
  - e. Call out EOF of pond to ditch, set at lowest rim elevation of structures in the parking lot.
  - f. Show elevations, grades, and matching existing surfaces along the entire entrance drive.
6. Sheet C-8 – Utility Plan:
  - a. Show how sewer and water services will connect to existing mains.
    - i. Call out tee into existing watermain in street, add gate valve on east side of new tee.
    - ii. Call out saddle wye onto existing sanitary sewer main or core & boot into manhole. Verify pipe size between manhole on Tract B and manhole in street.
  - b. Keep utilities at least 5 feet from any property line. (2" sanitary clips close to property corner at entrance curve.)
  - c. 2" sanitary is a forcemain, no cleanouts apply, may need air relief if high point after ditch. Call out inverts along forcemain keep 8 feet deep. Call out 8 feet below bottom of ditch at a minimum at the crossing.
  - d. Call out water service inverts along service run. Keep 8 feet deep. Call out 8 feet below bottom of ditch at a minimum at the crossing.
    - i. Does the building need an irrigation system? Will the 1.5" water service line provide enough water?
  - e. Show curb stop where the water service crosses the property line before the ditch. Call out small casting to cover curb stop as it will be in the pavement.
  - f. Call out 8" watermain inverts. Keep 8-feet deep.
  - g. Call out hydrant finished ground elevation, valve, fittings, 6" wmn length, etc.



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

- h. Water service to UPS will be hit from new main installation. See attached record drawing. Show reconnecting UPS service and installing curb stop at north property line of tract B where service crosses onto UPS property.
  - i. Storm sewer discharge pipe from the pond shall be a minimum 12" diameter. Install skimmer structure for rate control under 12" flow rates. Slope should also be at a minimum self-cleaning velocity.
  - j. The two inlet structures in gravel shall have a 2-foot sump to collect the class 5 sediment washout.
7. Sheet C-9 – Details:
- a. Call out gravel pavement section. Should not be less than 8".
  - b. Use attached valley gutter detail.
  - c. Submit City SWPPP checklist (attached)
  - d. Submit NPDES Permit to City prior to beginning work.

Stormwater Modeling:

1. Submit subcatchment maps for the existing and proposed models. Need to catch all new impervious area created on the 4 acre parcel and run through pond prior to discharge to ditch.
2. Submit summary table of 2, 10, and 100 year storm event flow rates pre and post development.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.





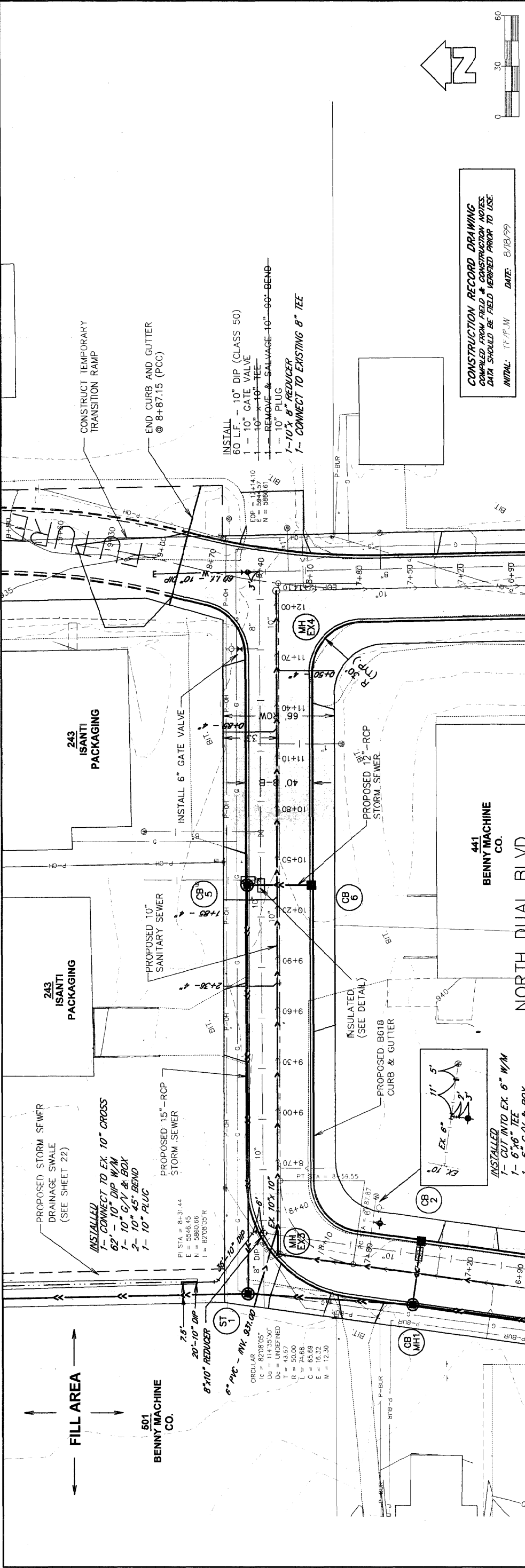
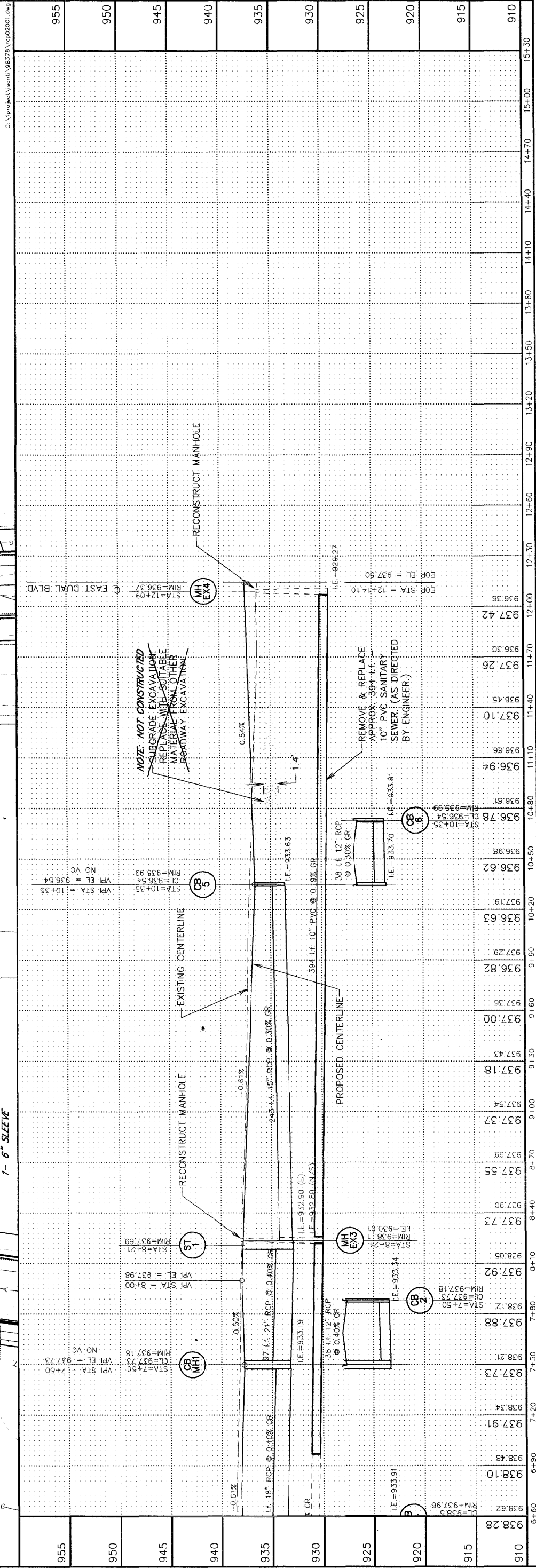
Hibbing • Minneapolis • St. Paul • Twin Ports

DATE: 3-9-99  
 REG. NO. 23381  
 PATRICK M. WINDLER, P.E.  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

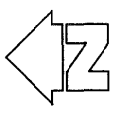
REVISIONS  
 DATE BY  
 SURVEY BY: MNTK  
 DRAWN BY: PJM  
 REVIEWED BY:

ISANTI, MINNESOTA  
 DUAL BLVD.  
 STREET & DRAINAGE IMPROVEMENT  
 PLAN & PROFILE  
 STA. 6+60 TO STA. 12+14

SHEET 6 OF 23  
 PROJECT NO. 98378



CONSTRUCTION RECORD DRAWING  
 COMPILED FROM FIELD & CONSTRUCTION NOTES.  
 DATA SHOULD BE FIELD VERIFIED PRIOR TO USE.  
 INITIAL: TF/PJM DATE: 8/18/99



C:\Project\isanti\98378\vsp02001.dwg

DESIGNED	ABM
DRAWN	MBS
CHECKED	MEP
DATE	4/96
BY	
7/99 EJD	ADD FIRE SUPPRESSION SYSTEM
8/99 EJD	REVISE SIZE OF FIRE SUPPLY LINE
AS-BUILT	

DATE	4/96
------	------

**THE SCHEMMER ASSOCIATES**  
Architects Engineers

**UPS Building Expansion**  
Isanti, MN

UTILITY PLAN

JOB NO. 407101  
SHEET C4-1  
6 of 40

**GENERAL NOTES**

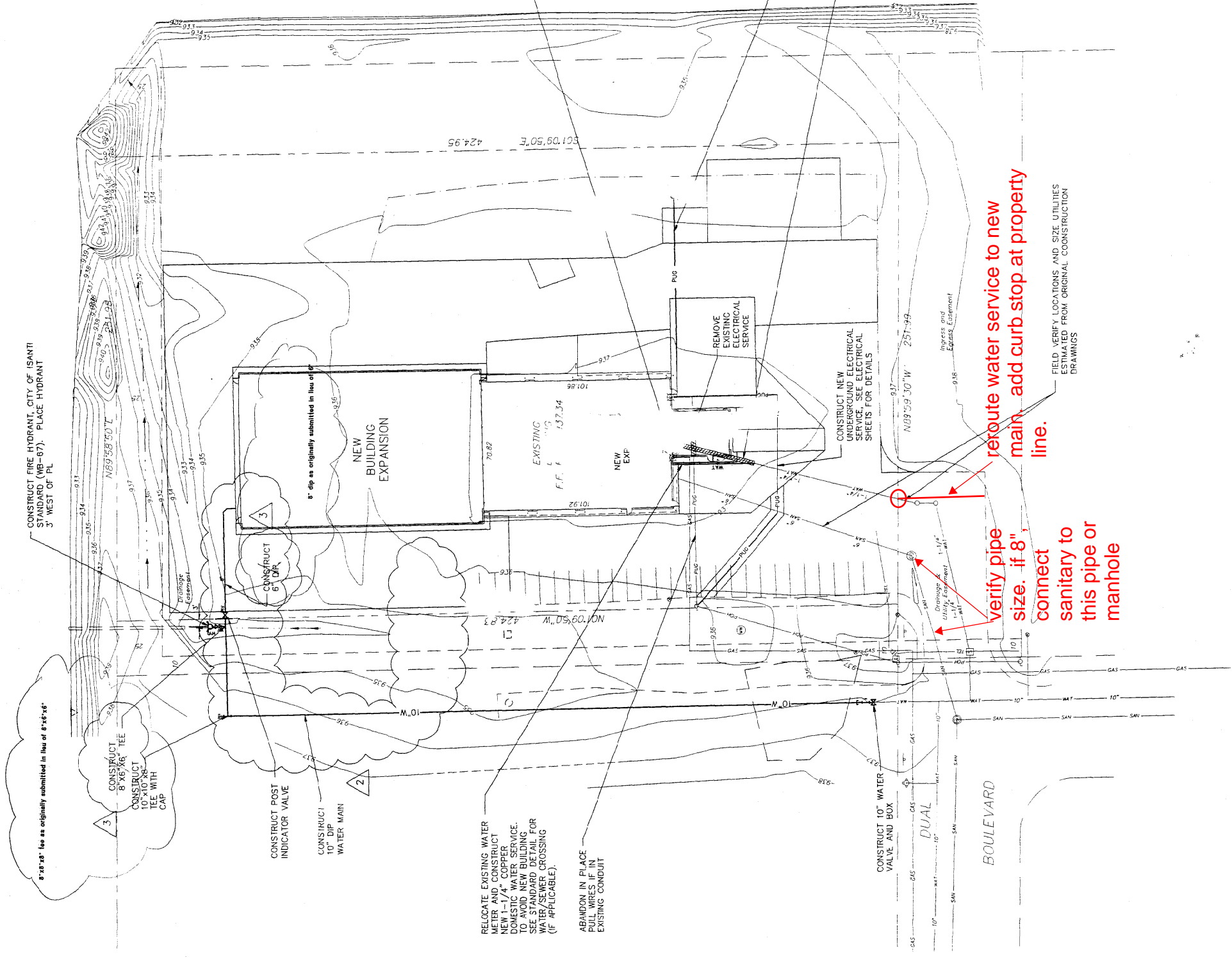
1. THE LOCATION OF ALL AERIAL AND UNDERGROUND UTILITY FACILITIES SHOWN ARE APPROXIMATE OR MAY NOT BE INDICATED IN THESE PLANS. LOCATIONS OF UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AT THE PROJECT SITE. THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY AND COORDINATE ALL NECESSARY UTILITY INTERRUPTIONS WITH OWNER. ANY DAMAGE TO EXISTING UTILITIES AND/OR AREA STREETS CAUSED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. ALL CONSTRUCTION, EXCEPT WHERE OTHERWISE INDICATED, SHALL BE IN ACCORDANCE WITH THE CITY OF ISANTI (GOVERNING BODY). IF NOT STATED BY CITY OF ISANTI, CONSTRUCTION SHALL BE IN ACCORDANCE WITH MN/DOT STANDARD SPECIFICATIONS.
3. DUCTILE IRON PIPE FOR WATER MAIN SHALL BE POLY WRAPPED AND CEMENT LINED AND SHALL BE IN ACCORDANCE WITH THE CITY OF ISANTI PUBLIC WATER MAIN STANDARDS. SEE MINNESOTA DEPARTMENT OF HEALTH STANDARDS FOR PRESSURE TESTING, PURITY TESTING, AND DISINFECTION REQUIREMENTS.

REMOVE EXISTING SANITARY SEWER LINE AND CLEAN OUT TO BEYOND THE BUILDING FOOTPRINT. SEE MECHANICAL DRAWINGS FOR NEW LOCATION.

NEW UNDERGROUND SERVICE. SEE ELECTRICAL PLANS FOR DETAILS.

REMOVE EXISTING WATERLINE IF IT IS LOCATED WITHIN THE NEW BUILDING FOOTPRINT.

**PROFESSIONAL ENGINEER**  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Print Name: WALTER S. WILSON  
Signature: [Signature]  
Date: May 26, 1999 License # 10000



reroute water service to new main - add curb stop at property line.

verify pipe size - if 8" connect sanitary to this pipe or manhole

FIELD VERIFY LOCATIONS AND SIZE UTILITIES ESTIMATED FROM ORIGINAL CONSTRUCTION DRAWINGS

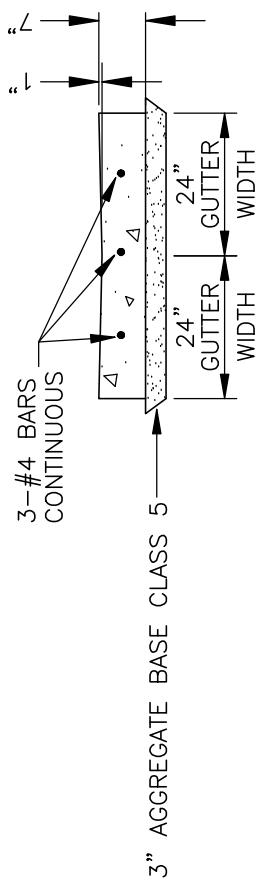
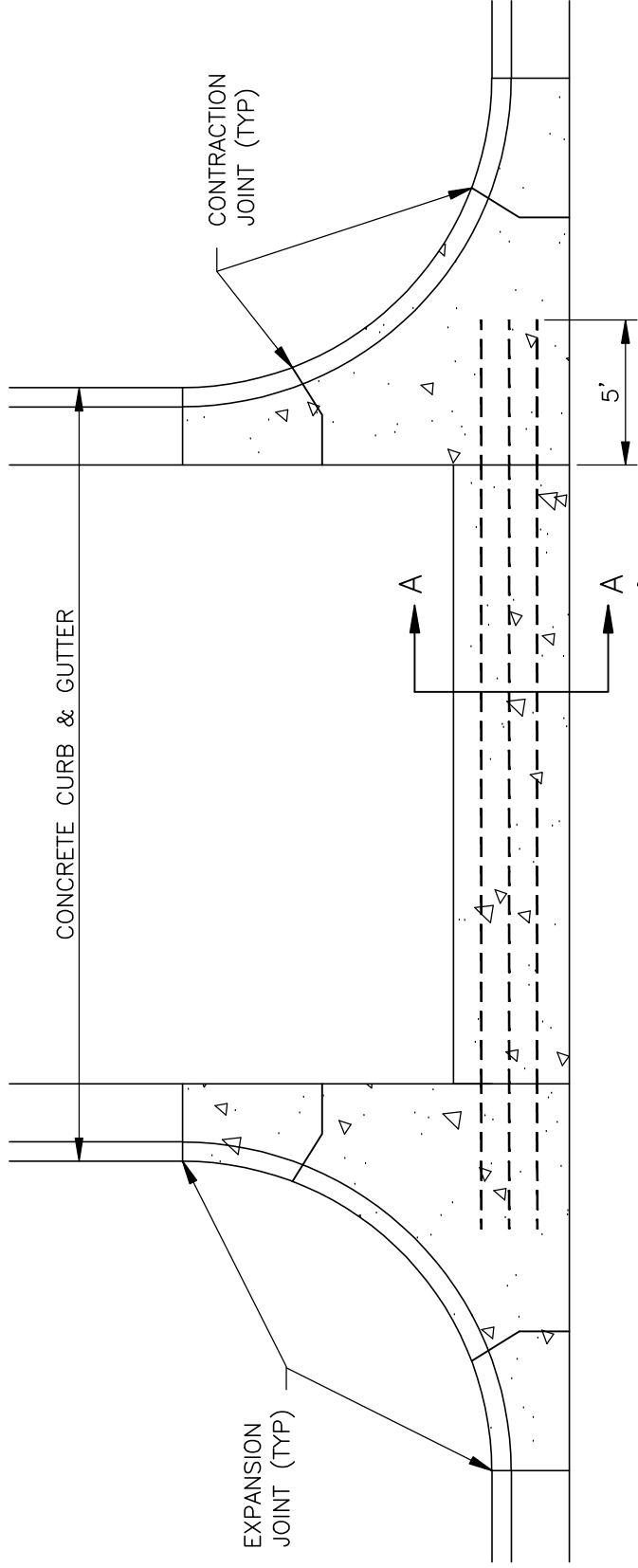
**LEGEND**

- |                 |                      |                    |                            |
|-----------------|----------------------|--------------------|----------------------------|
| <b>EXISTING</b> | 4                    | FLARED END SECTION |                            |
| U               | BUSH/SHRUB           | SS                 | SANITARY LINE              |
| ●               | CONIFEROUS TREE      | SD                 | STORM LINE                 |
| ●               | DECIDUOUS TREE       | W                  | WATER LINE                 |
| ●               | WETLAND              | E                  | UNDERGROUND ELECTRIC LINE  |
| ●               | STEEL/WOOD POST      | T                  | UNDERGROUND TELEPHONE LINE |
| —               | SIGN-TRAFFIC/OTHER   | G                  | LOW PRESSURE GAS LINE      |
| —               | SIGN-TRAFFIC/OTHER   |                    | NEW CONCRETE PAVEMENT      |
| —               | MAIL BOX             |                    |                            |
| —               | HANDICAPPED STALL    |                    |                            |
| —               | PERC TEST            |                    |                            |
| —               | MONITORING WELL      |                    |                            |
| —               | CABLE TV BOX         |                    |                            |
| —               | GAS METER            |                    |                            |
| —               | STREET LIGHT         |                    |                            |
| —               | CUY WIRE             |                    |                            |
| —               | POWER POLE           |                    |                            |
| —               | ELECTRIC BOX         |                    |                            |
| —               | ELECTRIC METER       |                    |                            |
| —               | ELECTRIC MANHOLE     |                    |                            |
| —               | ELECTRIC TOWER       |                    |                            |
| —               | SANITARY MANHOLE     |                    |                            |
| —               | SEWER CLEANOUT       |                    |                            |
| —               | BEEHIVE CATCH BASIN  |                    |                            |
| —               | CATCH BASIN          |                    |                            |
| —               | CONCRETE SURFACE     |                    |                            |
| —               | BITUMINOUS SURFACE   |                    |                            |
| —               | CURB & GUTTER        |                    |                            |
| —               | DECIDUOUS TREE LINE  |                    |                            |
| —               | CONIFEROUS TREE LINE |                    |                            |
| —               | FENCE LINE           |                    |                            |
| —               | WATERMAIN            |                    |                            |
| —               | TELEPHONE LINE       |                    |                            |
| —               | SANITARY SEWER       |                    |                            |
| —               | STORM SEWER          |                    |                            |
| —               | POWER OVERHEAD       |                    |                            |
| —               | POWER UNDERGROUND    |                    |                            |
| —               | GAS LINE             |                    |                            |
| —               | WATER MAIN           |                    |                            |
| —               | WELL                 |                    |                            |
| —               | WATER MANHOLE        |                    |                            |
| —               | CURB STOP BOX        |                    |                            |
| —               | HYDRANT              |                    |                            |
| —               | GATE VALVE           |                    |                            |
| —               | TRAFFIC LIGHT        |                    |                            |
| —               | HAND HOLE            |                    |                            |
| —               | TELEPHONE MANHOLE    |                    |                            |
| —               | TELEPHONE BOX        |                    |                            |
| —               | STORM MANHOLE        |                    |                            |
| —               | FLARED END SECTION   |                    |                            |



SCALE: 1" = 30'

RECD FEB 9 2000



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
  2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

**CONCRETE VALLEY GUTTER**  
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL:	DATE:	DETAIL LOG
PATH: Y:\7-100		REMARKS:	STDS COMM. SPRING, 2006	REVISIONS:	DATE:
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			



# SWPPP Checklist

## Construction Stormwater Permit Program

*Doc Type: Stormwater Pollution Prevention Plan (SWPPP)*

**Background:** This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

### Site Information

Applicant: \_\_\_\_\_ Project name: \_\_\_\_\_

Application date: \_\_\_\_\_ Reviewer name: \_\_\_\_\_

### SWPPP Narrative

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas?   |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs.                                      |

### SWPPP Plan Sheets

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs.                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas.             |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas.                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

### Stormwater Discharge Design

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site?   |
|                          |                          | <b>Yes No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located  |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway?   |

**Which method of permanent stormwater treatment has been selected?**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses?                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized?        |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned?  |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin:   |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting.          |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables.                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow.   |
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds:  |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP?                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin?  |

**Other Requirements**

---

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <b>Yes</b>               | <b>No</b>                |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected?   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil.  |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required?  |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing.  |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).   |

**Requirements of Appendix A**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days  |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location.   |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate   |

**Wetland Impacts**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <b>Yes</b>               | <b>No</b>                |  |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
|                          |                          | <b>Yes</b> <b>No</b>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?    |



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: October 18, 2022

SUBJECT: Zoning Ordinance Text Amendment to allow the keeping of horses in the R-1A zoning district, a rezoning of PID 16.021.0200 to Residential Rural and CUP approval for horse stables in the R-1A Zoning District.

---

**Request:** The applicant, Stephanie Neumann is requesting a Zoning Ordinance Text Amendment to allow for the keeping of horses in a R-1A zoning district, a comprehensive plan text/map amendment to rezone PID 16.021.0200 to R-1A Residential Rural and to approve a conditional use permit for a horse stable within the R-1A zoning district.

**Overview/Background:** The applicant would like to construct horse stables for private boarding on a 38.1-acre vacant lot located just within Isanti's limits along the northeast border. Currently, horses are considered prohibited animals in Isanti according to Chapter 87 of City Code. Staff have researched how surrounding municipalities regulate horses, and have discussed regulations that would be beneficial to the Isanti community. In order to fulfill the request for horse stables on this property, multiple changes have to be made within the City Zoning Ordinances and a section in city code will need to be added to allow and regulate the keeping of horses.

The parcel is currently zoned R-1 "Single Family Residential" and is proposed to be rezoned to the R-1A "Residential Rural Zoning District". The R-1A zoning district provides less restrictions than an R-1 district, due to the size and location of these parcels.

**Analysis of Application:** The analysis of the request is broken up in sections for the Rezoning, Comprehensive Plan/Zoning Text and Map Amendment, Conditional Use Permit and the proposed horse regulations in city code. Voting shall take place for each request as they are separate items.

## **Rezoning/Map Amendment**

The current zoning of PID 16.021.0200 is R-1 “Single Family Residential” and is proposed to be rezoned to R-1A “Residential Rural Zoning District”. The R-1A zoning district was created with the intent of providing residential development while keeping the enjoyment of a rural lifestyle. Staff believes that this zoning district would be the right designation for horses based on larger lot sizes and the location of the parcels on the exterior borders of city limits. The PID in question is just within city limits along the northeast border with Isanti Township. A Rezoning also constitutes a change to the current zoning map and also land use maps within the City’s Comprehensive Plan.

A rezoning request is determined by the judgement of the Planning Commission and shall be based upon the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.

*The intended use of the parcel for horse stables and pasture will not bring major change to the area. A majority of the land will be used for pastures and grazing land for horses and a building for indoor horse stables is proposed on the north end of the property. While evaluating the request and comparing it to the goals of the City’s Comprehensive Plan, the intended use does not negatively affect surrounding properties and there will be no change needed to public facilities and capital improvement plans.*

2. The proposed action meets the purpose and intent of this Ordinance or in the case of a map amendment; it meets the purpose and intent of the individual district.

*The parcel meets the minimum lot requirements for the R-1A “Residential Rural” zoning district in that it is over 1 acre in size. The R-1A requirements will need to be amended to allow horse stables as a Conditional Use to fulfill the intent of the rezoning and is analyzed in this report in a following CUP section.*

3. There is adequate infrastructure available to service the proposed action.

*The intended use will not require infrastructure changes to accommodate the request.*

4. There is an adequate buffer or transition provided between potentially incompatible districts.

*The parcel is completely surrounded by properties zoned R-1 “Single Family Residential”. The golf course which is currently not operating surrounds the south and west boundaries. Vacant land and one residential property surround the parcel to the north and east. City staff believes that there is an adequate buffer and natural transition of surrounding uses based on the size of the parcels and locations of existing residences.*

## **Conditional Use Permit – Horse Stables**

Staff believes that horse stables shall require a Conditional Use Permit in the R-1A zoning district. Each request will be reviewed by the Planning Commission and City Council to ensure that the use is not detrimental to surrounding properties and to determine the suitability of the use in regards to the general welfare, public health and safety.

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.

*Response found above in “Rezoning” section.*

2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

*The proposal of horse stables on this parcel will meet the purpose and intent of the R-1A Residential Rural zoning district in that the inclusion of the horse stables will keep this land for the enjoyment of a rural lifestyle and the indoor stables would consist of minor low-density development.*

3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

*The stables will not be detrimental or endanger the public. Specific regulations for the keeping of horses (found in the Text Amendment section) will further protect the public for the upkeep and maintenance of the operation.*

4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

*The stables will not impact the enjoyment of surrounding properties and is not expected to diminish or impair property values within the area.*

5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

*Due to the location of the parcel, it is not presumed that normal and orderly development and improvement would be affected by this conditional use.*

6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

*Public facilities and services would not be negatively impacted and would be able to accommodate the use as necessary.*

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

*The stables will have to meet requirements found in the R-1A zoning district for setbacks for a principal building. Plans for the stables will need to be approved by city staff at the time of building permit submittal.*

8. The conditional use complies with the general and specific performance standards as specified by within this Article.

*The proposed conditional use will comply with the general and specific performance standards specified within this Article.*

### **Text Amendments:**

The request to keep horses and build stables on this property require amendments to both the zoning ordinances and also the city code. Changes to the text are indicated below either by having a line through the words if text is being removed and underlined if text is being added. These changes have been separated by zoning ordinance amendments and city code amendments and are analyzed below:

### **Zoning Ordinance Amendments:**

- The term “Horse Stables” must be added to the list of Conditional Uses within the R-1A Zoning District:

#### ARTICLE SIX: “R-1A” RESIDENTIAL RURAL DISTRICT

##### Subdivision 4: Conditional Uses

The following are conditional uses allowed in the “R-1A” Single-Family Residential Rural District and shall require a Conditional Use Permit based upon the procedures set forth and regulated by Section 21 of this Ordinance. Additional specific standards and criteria may be cited for respective conditional uses and a request shall be evaluated based upon those additional standards and criteria.

#### I. Horse Stables

## City Code Amendments:

- “Horses” must be regulated and added to Article 1 Keeping of Certain Animals within Chapter 87 of City Code:

### § 87-1.5 Horses.

The City allows the keeping of horses on residential properties, subject to the following requirements:

- A. Must be located in an R-1A Residential Rural Zoning District.
- B. Must have at least 30 acres of land between 1 or more adjacent parcels under the same ownership.
- C. There shall be no more than 1 horse per 2 acres of land.
- D. A Conditional Use Permit is required for horse stables within the R-1A Residential Rural Zoning District.
- E. Stables are required and shall:
  - (1) Be located at least 50 feet from a side or rear property line.
  - (2) Not be located in a drainage or utility easement or in a shoreland protection area or in a wetland setback area.
  - (3) Be at least 100 feet from any residential dwelling on any adjacent property.
  - (4) The property owner shall maintain the stable such that they are in good shape, not unsightly and free from major defects.
- F. The owner must keep the horses in a fenced area. Fence type shall be reviewed by City Staff.
- G. The property owner shall properly store all animal feed such to ensure that it does not attract insect or rodents.
- H. The property owner shall dispose of all animal waste in an appropriate manner on a weekly basis.
- I. Manure stockpiles shall:
  - (1) Be located at least 50 feet from a side or rear property line.
  - (2) Not be located in a drainage or utility easement or in a shoreland protection area or in a wetland setback area.
  - (3) Be at least 100 feet from any residential dwelling on any adjacent property.

- (4) Have a management plan that meets requirements set by the Minnesota Pollution Control Agency.
- J. No person may ride or drive an animal regulated under this article after sunset or below sunrise along or crossing a public way without appropriate lighting or reflectorized clothing.
- K. No person, firm, or corporation will permit any animal regulated under this article to run at large within the city. Any such animal will be deemed “at large” when it is off the premises owned or rented by its owner and unattended by the owner or any agent or employee of the owner.
- L. The animal control authority, any peace officer of the state, and any other personnel under the direction and control of the city, or any agent of the city, may impound any such animal found at large as regulated by Minn. Stats. § 374.14.

City staff have researched surrounding cities regulations for the keeping of horses and the regulations above have been modified to better fit the City of Isanti while staying consistent with language from other regulated animals within City Code.

**Staff Recommendation:** Staff recommends approval of the Zoning Ordinance Text Amendment to allow the keeping of horses in the R-1A zoning district, a rezoning of PID 16.021.0200 to R-1A Residential Rural and Conditional Use Permit approval for horse stables in the R-1A Zoning District.

**Attachments:**

- Site Plans





**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, December 20, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the October 18, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Stephanie Neumann for Site Plan approval under City Ordinance 445, Section 18, said request is for Horse Stables at PID 16.021.0200.
- B. Request by the City of Isanti for a Zoning Ordinance Text Amendment under City Ordinance 445, Section 21, Article 1, said request is to amend Section 13 Article 4 "Accessory Buildings, Structures and Uses" to allow pole structured buildings in the R-1A Residential Rural Zoning District.

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

**CITY OF ISANTI****PLANNING COMMISSION MEETING****TUESDAY, October 18, 2022**

Immediately following the 7:00 P.M City Council Meeting;

**1. Meeting Opening**

- A. Call to Order: Chair Johnson called the meeting to order at 7:13 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Jimmy Gordan, Steve Lundeen, Paul Bergley, Dan Collison, Arissya Simon  
Members Absent: None  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

**2. Meeting Minutes**

- A. Approval of Minutes from the August 16, 2022 Planning Commission Meeting, motion by Bergley, second by Simon, motion passes 6-0.

**3. Public Hearing**

- A. Request by American First CDL Academy, Inc. for Site Plan approval under City Ordinance 445, Section 18, said request is for a truck driving school located in the Industrial Park District at PID 16.029.1400.

Saltis presented the request for a truck driving school site plan review. It was explained that the site will be accessed from an easement off of East Dual Blvd NW and will consist of a 7,000 sq ft building and a 100,000 sq ft driving practice area. Discussion was had between City Staff and Planning Commission Members regarding the easement access, parking stall lengths, driveway widths and surfacing. A surrounding property owner, Becky Balk of 411 Hillock St NE was present at the public hearing and asked about potential noise from the truck driving school and potential hours of operation. Staff pointed out that a privacy fence will be required as a buffer in between the Residential and Industrial uses. The Planning Commission members assumed that the driving of trucks would most likely be limited to daylight hours. Staff confirmed that there is a noise section of City Code that would be in effect for the truck driving school. Staff pointed out several other conditions of approval that will protect surrounding residences. The applicants were not present at the meeting. No one else from the public spoke at the public hearing. Motion for approval of the site plans for a truck driving school was made by Bergley and seconded by Collison, motion passed 6-0.

- B. Request by Stephanie Neumann for a Zoning Ordinance Text Amendment, Comprehensive Plan Text/Map Amendment and Conditional Use Permit approval under City Ordinance 445, Section 21, Articles 1 and 2; said request is to allow for the keeping of horses in the R-1A Residential Rural Zoning District, rezoning PID 16.021.0200 from R-1 Single Family Residential to R-1A Residential Rural and to approve a Conditional Use Permit for horse stables.

Saltis explained the zoning ordinance text amendment, comp plan text/map amendment and CUP approval for horse stables and why the changes need to be made for this request. Staff explained that they believe horses should be allowed with regulations within the R-1A Residential Rural Zoning District. Regulations for horses were discussed between staff and Planning Commission members. As presented, horses would be allowed on parcels of 30 or more acres within the R-1A zoning district and 1 horse would be allowed for every 2 acres of land. The parcel in question would also have to be rezoned from R-1 to R-1A to fit a Rural Residential designation. "Horse Stables" would be added as language under Conditional Uses within the R-1A zoning district. This would provide the applicants the ability to construct horse stables as the principal use on this parcel, and the horse stables would have to meet the minimum requirements for allowing a CUP. This would mean that each person who would like to have horse stables in the future will have to pass the Planning Commission and City Council to determine the location of the stables and that they don't negatively impact surrounding properties. The CUP regulations were analyzed for this specific request and location, and was determined that the stables would not negatively impact the area or surrounding properties/homeowners. A surrounding property owner, Lynn Swanson was present at the public hearing. Mr. Swanson stated that he believes that this would be a good use for the parcel in that it is a rural area and horses should be allowed. The applicant Stephanie Neumann was also present at the meeting and available for questions from the Planning Commission. The Planning Commission asked what their goals are for the property altogether. Stephanie said that they hope to have private stables and an indoor riding barn along the north side of the parcel and could potentially build a house in the future. Planning Commission members asked if the regulations for horses are reasonable and make sense for what they are looking to accomplish. The applicant said that they could meet the regulations proposed to be put in place for horses. Motion for approval of the Zoning Ordinance Text Amendment, Comp Plan Text/Map Amendment and CUP for horse stables by Lundeen and seconded by Collison, motion passed 6-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Lundeen, 2<sup>nd</sup> by Bergley to adjourn, motion passed 6-0, meeting adjourned at 7:55 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: December 20, 2022

SUBJECT: Site Plan Approval of Horse Stables and Riding Arenas on PID 16.021.0200

**Request:** The applicant, Stephanie Neumann is requesting a Site Plan Review for Horse Stables and an Indoor and Outdoor Riding Arena.

**Overview/Background:** The applicant would like to construct private horse stables, an indoor horse-riding arena, outdoor riding arena and a storage shed on a 38.1-acre vacant lot located just within Isanti's limits along the northeast border. The indoor riding arena is proposed at 11,200 sq ft with an attached 2,880 sq ft stall barn. A 24,000 sq ft outdoor horse-riding arena is proposed to the west and an 8,400 sq ft storage shed is proposed to the east of the indoor arena. According to Section 18 of the City's Zoning Ordinances, site plan review is needed for any new building construction. However, the R-1A zoning district provides less restrictions than an R-1 district or a commercial/industrial district, due to the size and location of these parcels. This site plan review has been condensed based on what it is needed to follow for the R-1A zoning district and based on the private use of the facility.

The applicant previously went through a Rezoning of the parcel to R-1A, Conditional Use Permit for Horse Stables, and a Zoning Ordinance Amendment which were all approved at the October 18<sup>th</sup> Planning Commission Meeting.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the R-1A Residential Rural Zoning District:

**Lot Requirements**

- Lot Size 1 acre

*The area of the parcel is roughly 38 acres in size. The parcel meets the minimum lot size requirements.*

**Setbacks and Height Restrictions – Principal Building**

- Front Yard Setback 50 feet
- Side Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Rear Yard Setback 30 feet
- Maximum Building Height 2 ½ Stories or 35 ft, whichever is less

*The proposed building will be located on the north side of the lot and will meet all required setbacks. The indoor arena will be roughly 88 feet from the north property line.*

**Setbacks – Accessory Buildings.**

Regulations for Accessory structures are provided in Section 13 of this Ordinance.

- Rear Yard Setback 5 feet
- Side Yard Setback 5 feet
- Street Side Yard Setback 20 feet

*The shed on the site plans show that it will be located 40 feet from the north property line and 38 ft from the eastern property line. This will meet the required 5 ft setbacks for accessory buildings.*

**Parking Lot Setbacks**

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas are not designated on site plans and are not needed for a private use on a R-1A property. It is assumed that personal vehicles would be accessing the arenas and shed from the south due to the orientation of the building and accessibility from the proposed driveway.*

**Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

**Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.

- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
    - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
    - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
  2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
  3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
  4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
  5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
  6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
  7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*A photometrics plan was not submitted with foot candle readings on the site. It is assumed that the site will have mostly downlit wall sconce lighting for the exterior of the buildings. All lighting will have to meet the Outdoor Lighting Standards set in Section 14 Subdivision 5 of the City's Zoning Ordinances.*

**Exterior Building Materials**

- C. Building elevations shall provide for diversity in terms of, to include but is not limited to, the type of materials, building orientation, window location, and roof pitch. The exterior design, proportions, and materials shall be selected to achieve a quality design and a sense of individuality.
- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.

1. A roof constructed of asphalt composition, shingle, tile, crushed rock, or similar roofing material, which is compatible with surrounding development shall be used.
2. Exterior siding of brick, wood, stucco, plaster, concrete, or other similar materials, which is finished and non-glossy and non-reflective; and which is compatible with the surrounding development shall be used.
3. A predominant shape and form that is compatible with the surrounding neighborhood shall be used.

*The exterior building materials for the indoor riding arena and horse stables building will consist of a black metal roof and brown siding. The shape of the barn is unique to the area, given the purpose of the building. A large garage style door will be installed to access the riding arena, and there are several other exterior doors for accessing the horse stalls. Metal roofs are now acceptable building materials in residential zoning districts and it appears that the other materials are also permitted.*

**Staff Recommendation:** Staff recommends approval of the Site Plans on PID 16.021.0200 with conditions listed below.

**Conditions of Approval:**

- The buildings and site shall be for private use only. If in the future the owners would request that the buildings be opened to the public, the site plans will need to be reevaluated by the Planning Commission and City Council to ensure minimum requirements are met for the site and buildings.
- Proposed building and associated site construction shall conform with the current editions of the MN State Building and Fire Codes. The MN State Building Code does not apply to agricultural buildings that meet the definition as identified in MN Statute 326B.103. The MN State Fire Code shall apply to the proposed construction regardless of the use.
- A Wetland delineation will need to be completed and modeling to determine impacts to the floodway.
- If creating more than 1 acre of new impervious surface, applicants shall determine how they plan to address the added runoff.
- An NPDES construction stormwater permit shall be submitted.
- A culvert may need to be sized for the driveway across the floodway and south of the floodway where a second wetland flow way appears to cross the site.
- All conditions from the October 18<sup>th</sup> Planning Commission staff report shall be followed.
- Electrical Permits shall be applied for through the City of Isanti.
- Fencing is required around the site to contain the horses.

- Any lighting on site shall be downlit and follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's Zoning Ordinances.
- All conditions listed in the Fire Chief's Memo dated 12-6-2022.
- Any other conditions brought forth by the City Engineer.

**Attachments:**

- Site Plans
- Exterior Elevations
- Fire Chief Memo
- Wetlands and Floodway Map

# SITE CONTROL/BUILDING EXHIBIT

~for~ DESIGNING EARTH CONTRACTING  
 ~of~ PART OF THE E1/2 OF E1/2 OF  
 SW1/4 OF SEC. 21, TWP. 35, RGE. 23

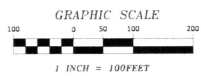
## CONTROL POINTS

PI	Northing	Easting	Elev.	Desc.
2062	177005.5930	466121.3120	963.78	TRAV
2063	177005.8460	465938.2840	960.30	TRAV
2064	176740.4790	465590.0780	956.40	TRAV
2065	176493.5990	465922.6220	953.42	TRAV
2066	176437.1850	466181.6480	954.78	TRAV

⊠ DENOTES WOOD HUB/METAL SPIKE  
 AT 10 FOOT OFFSET

## BENCHMARK

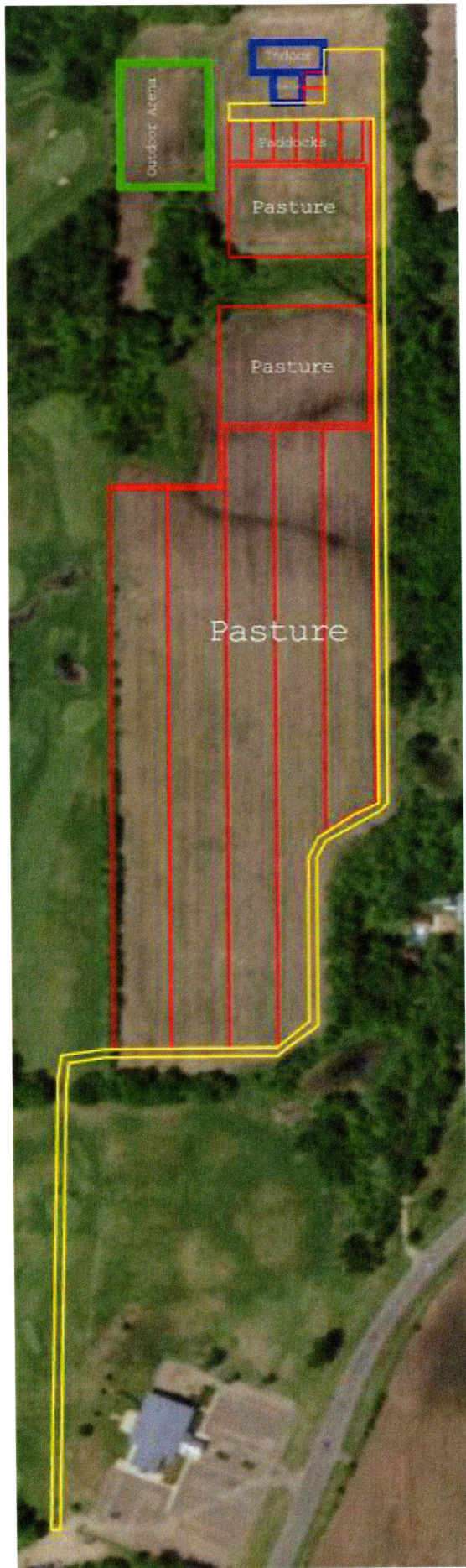
MINNESOTA DEPARTMENT OF TRANSPORTATION  
 GSD STATION # 103157 (NAME: 3003 M)  
 ELEVATION = 939.84 (NAVD 88)

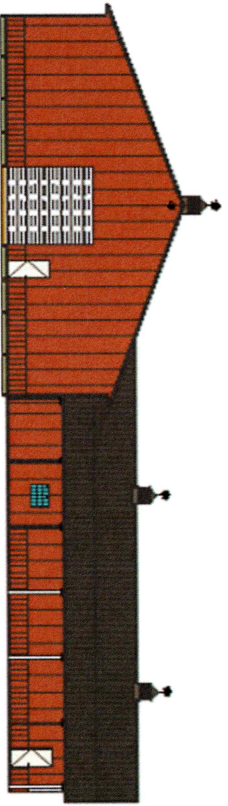


NO.	DATE	DESCRIPTION	BY
1			
2			
3			

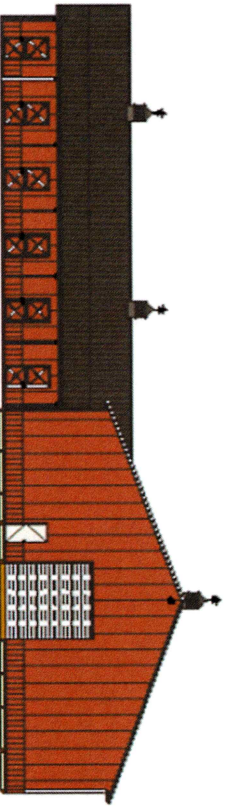
**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701







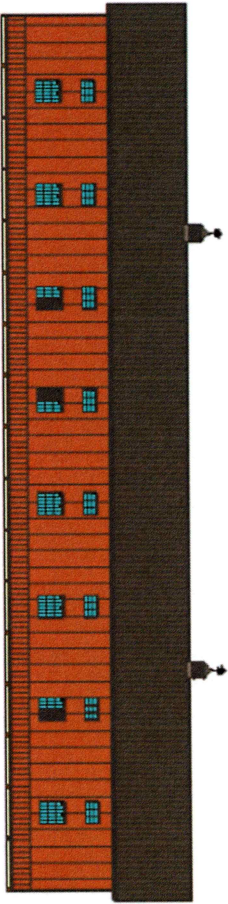
A2 ENDWALL 1 ELEVATION



C2 ENDWALL 2 ELEVATION



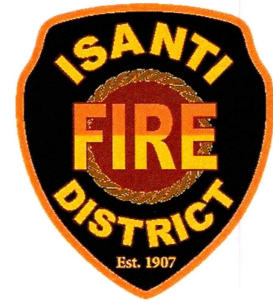
B2 SIDEWALL 1 ELEVATION



D2 SIDEWALL 2 ELEVATION

December 6, 2022

City of Isanti Planning Commission  
110 1<sup>st</sup> Ave NW  
Isanti, MN 55040



RE: Sanbrook Equestrian Center

City of Isanti Planning Commissioners,

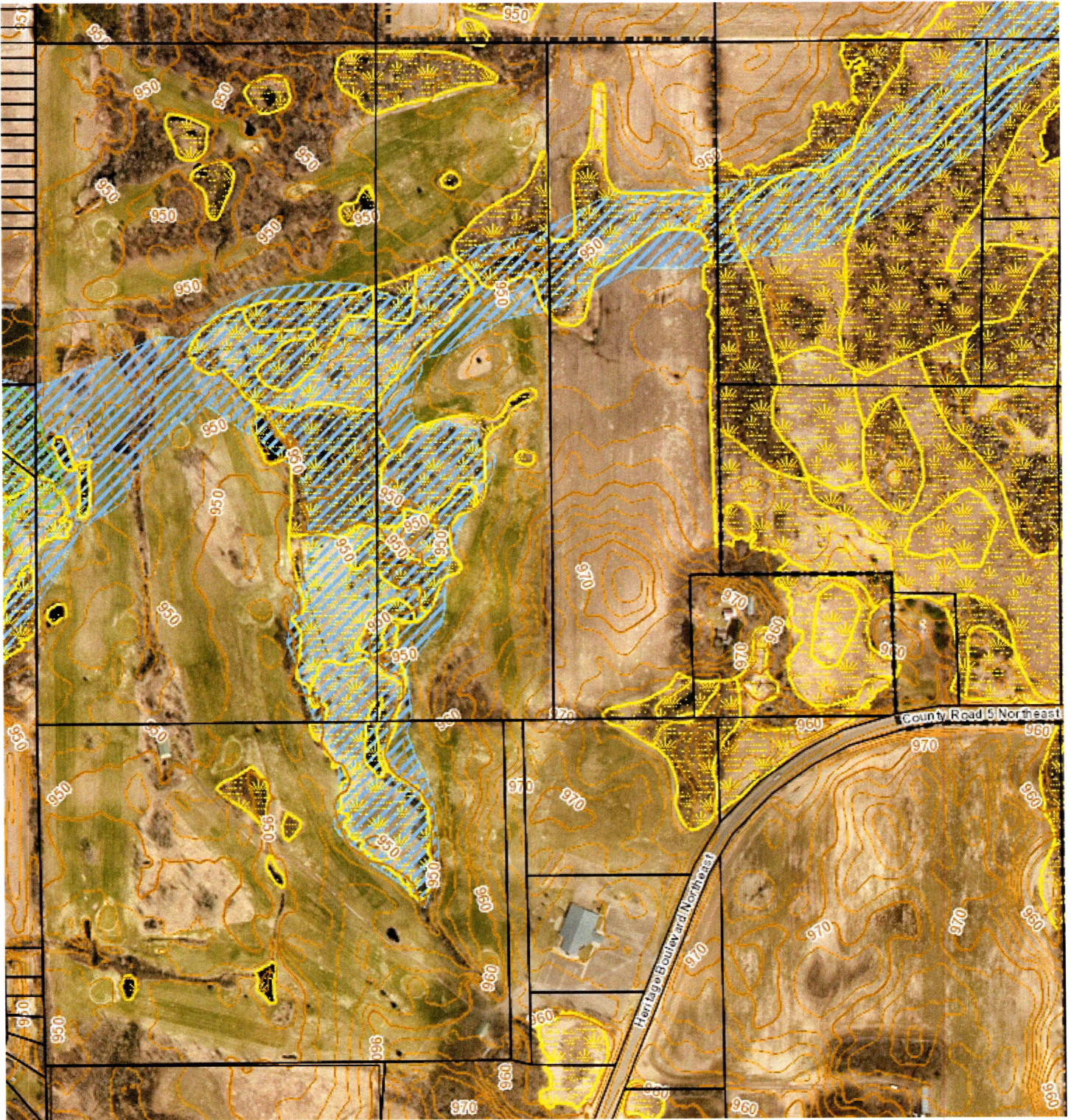
Isanti Fire District has reviewed the Sanbrook Equestrian Center proposed for construction on PID 16.021.0200.

Isanti Fire supports the conditions outlined in the November 10, 2022 site plan and December 21, 2022 building plans ensuring construction conforms to all applicable Minnesota State Fire Codes per City of Isanti Code 111-113: *Adoption of MN State Fire Code*.

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a faint circular stamp.

Alan Jankovich | Fire Chief  
Isanti Fire District



0 527 Feet



**BOLTON  
& MENK**

Real People. Real Solutions.

**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



**Sanbrook Equestrian Center  
Wetlands and Flood Zone**



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: October 18, 2022

SUBJECT: Zoning Ordinance Text Amendment to allow Pole Type Construction within the R-1A Zoning District

**Request:** The City of Isanti has recently received several requests from residents to allow pole buildings within city limits. A majority of these requests are for properties with at least 1 acre of land located in the R-1A “Residential Rural Zoning District. A Text Amendment is needed to change the language in the Zoning Ordinances to allow pole buildings in the R-1A Zoning District.

**Overview/Background:** Currently, pole type structures are not permitted in any zoning district. The R-1A Zoning District has a minimum lot size requirement of 1 acre, meaning that with the proposed zoning ordinance amendment, pole type structures would be on properties with at least 1 acre of land. Pole structures would have to follow Table 3 found in Section 13 of the City’s Zoning Ordinances for maximum sizes of the structure based on acres:

**TABLE 3: Size Requirements for Accessory Structures**

Parcel Size	Maximum Square Feet	Maximum Building Height
Less than 1.0 acres <i>(Ord. No. 592)</i>	580 sq/ft	12 feet <i>(see definition of building height)</i>
Parcel Size	Maximum Square Feet	Maximum Sidewall Height
1.01 to 2.0 acres	960 sq/ft	10 feet
2.01 to 3.0 acres	1,200 sq/ft	10 feet
3.01 to 4.99 acres	1,800 sq/ft	10 feet
5.0 or more acres	2,400 sq/ft plus an additional 240 sq/ft or increment thereof, for each additional acre	10 feet

The R-1A zoning district provides less restrictions than an R-1 district, due to the size and location of these parcels.

**Analysis of Application:**

Text Amendment:

The request to allow pole-type construction as an acceptable building material in the R-1A Zoning District requires an amendment to the city zoning ordinances. Changes to the text are indicated below either by having a line through the words if text is being removed and underlined if text is being added.

**Zoning Ordinance Amendment:**

- Pole-Type Construction will remain prohibited within all Residential Zoning Districts with an exception to the R-1A Zoning District must be added to the list of Building Materials found in City Zoning Ordinances Section 13 Article 4:
  4. Building Materials.
    - (a) Accessory structures shall be compatible with the principal structure with respect to building materials, design, and character. Roof style and colors shall be similar to or compatible with the principal building.
    - (b) Buildings of pole type construction are prohibited within all Residential Zoning Districts except the R-1A Residential Rural District.

**Staff Recommendation:** Staff recommends approval of the Zoning Ordinance Text Amendment to allow pole-type construction in the R-1A zoning district.